

Master Plan Project Narrative

For a Proposed Redevelopment Project

Self-Storage Facility

Located at

**530-532 Wellington Avenue
Cranston, Rhode Island
AP 3, Lot 107**

Prepared for:
CANAM RI LLC
c/o Mr. Mike Jobb
530 Wellington Avenue
Cranston, RI 02910-2950

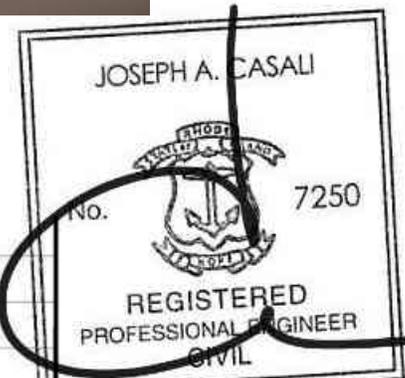
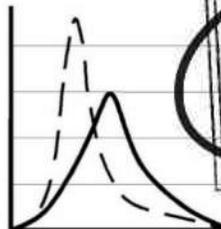


Submission Date:
May 2024

Submitted by:

JCE

JOE CASALI ENGINEERING, INC.
CIVIL · SITE DEVELOPMENT · TRANSPORTATION
DRAINAGE · WETLANDS · ISDS · TRAFFIC · FLOODPLAIN
300 POST ROAD, WARWICK, RI 02888
(401) 944-1300 (401) 944-1313 FAX WWW.JOECASALI.COM



05/02/2024

TABLE OF CONTENTS

1	INTRODUCTION	2
2	SITE LOCATION AND PHYSICAL DESCRIPTION	2
2.1	Soil Classification	3
2.2	Environmental Considerations.....	3
2.3	Flood Zone Classification	6
2.4	Natural Resources	7
2.5	Zoning.....	8
2.6	Easements	8
2.7	Existing Utilities	8
3	PROPOSED DEVELOPMENT	9
3.1	Zoning.....	10
3.2	Proposed Utilities.....	11
4	PERMIT REQUIREMENTS.....	11
4.1	Local Permit Requirements.....	11
4.1.1	City of Cranston Plan Commission.....	11
4.1.2	Providence Water Supply Board.....	12
4.1.3	Veolia Water/ Cranston Dept. of Public Works.....	12
4.2	State Permit Requirements.....	12
4.2.1	RI Department of Environmental Management.....	12

APPENDICES

- Appendix A: Site Plan, 530 Wellington Ave., Cranston, Rhode Island (Sage)
Appendix B: Reduced 11” x 17” Architectural Plans / Renderings
Appendix C: Reduced 11” x 17” Site Plans

1 INTRODUCTION

On behalf of our client, CANAM RI LLC, Joe Casali Engineering, Inc. (JCE) has prepared the following Master Plan Project Narrative to identify existing conditions and proposed site improvements associated with a proposed redevelopment project. The scope includes the redevelopment of the existing mill complex located at 530-532 Wellington Avenue, in Cranston, Rhode Island to a self-storage facility. The subject property can also be identified as Tax Assessor's Plat Map (AP) 3, Lot 107, and has frontage on Wellington Avenue in the City of Cranston.

2 SITE LOCATION AND PHYSICAL DESCRIPTION

According to a July 2023 Class I Property Line Survey performed by Holland E. Shaw, PLS, the total area of the subject property is 237,000 sq. ft. (5.441 acres). The parcel is currently occupied by a mill complex consisting of a series of buildings internally subdivided with multiple varied uses, parking areas, and outdoor storage areas. The varied uses within the facility have been vacated as of the date of this report. The parcel is accessed via existing curb cuts Wellington Avenue and Station Street. The subject parcel is bound by multi-family residential properties to the north, an Amtrak Corridor to the east, a vacant lot to the south, and Wellington Avenue and Interstate 95 to the west, as shown below in Figure 1 – Locus Map.

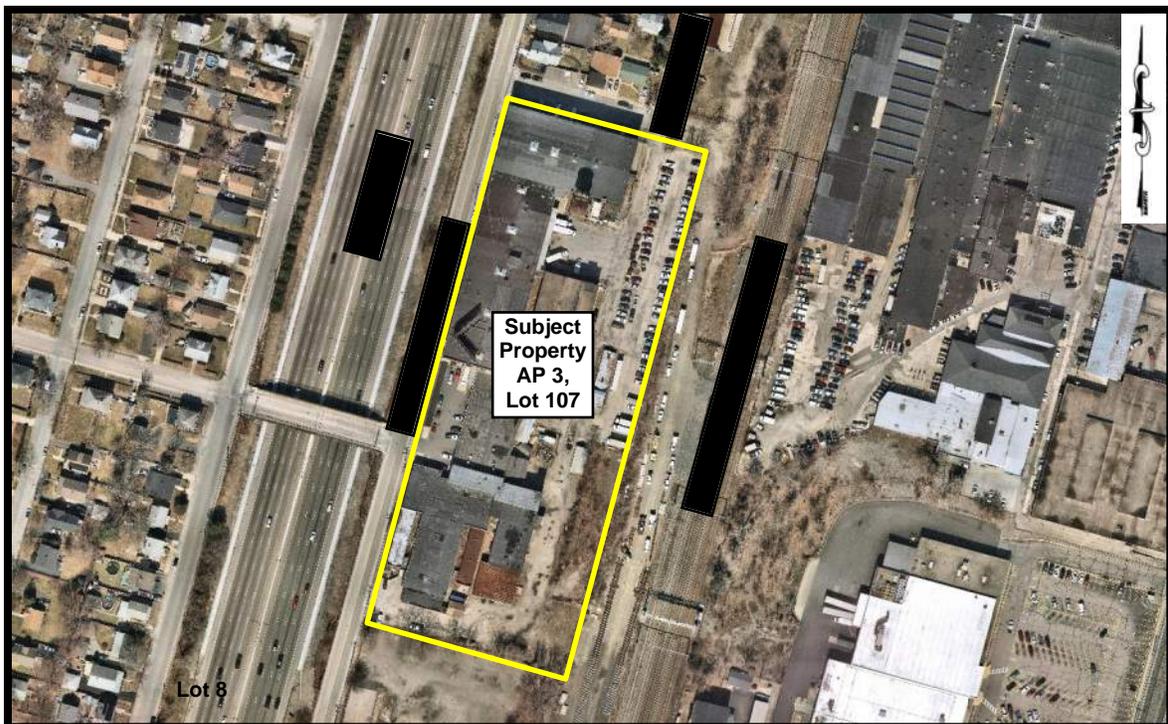


Figure 1 – Locus Map

NOT TO SCALE

2.1 Soil Classification

According to the *Web Soil Survey (WSS)* operated by the US Department of Agriculture Natural Resources Conservation Service (NRCS), produced by the National Cooperative Soil Survey, the soils on the site consist of Udorthents-Urban land complex (UD) and Merrimac-Urban land complex, 0 to 8 percent slopes (MU). UD soils consist of human transported material. These soils have a very low runoff class and belong to hydrologic soil group A. MU soils consist of loamy glaciofluvial deposits derived from granite, schist, and gneiss over sandy and gravelly glaciofluvial deposits derived from granite, schist, and gneiss. These soils are somewhat excessively drained, have a very low runoff class and belong to hydrologic soil group A.



Figure 2 – Soils Map

NOT TO SCALE

2.2 Environmental Considerations

SAGE Environmental (Sage) completed a conducted an American Society for Testing and Materials (ASTM) Phase I Environmental Site Assessment (ESA) in April 2023. Results of the Phase I ESA identified Recognized Environmental Conditions (RECs), which are explained in more detail in the Phase I ESA (can be provided under separate cover) but are generally summarized below.

- REC #1 - Historic and Current Usage of the Site for Manufacturing and Associated Infrastructure: Building occupants have engaged in manufacturing operations, including but not limited to, vinyl coated products, a rubber heel factory, plastics manufacturing, cabinet manufacturing, jewelry manufacturing, upholstery manufacturing, knife manufacturing, a veterinary laboratory, chemical manufacturers (including resin, algacides, germicidal detergents, deodorants, sanitizers, and disinfectants), assayers and refiners of precious metals, electroplating operations, spray coating/spray painting/screen-printing, metal and plastic grinding/sharpening, a brewery, appliance repair, sewing, exercise related businesses, real estate businesses, material rental businesses, storage businesses, educational businesses, janitorial services, electricians, an elevator company, and retail businesses, since the early 1900's. In addition to the former property use, several observations of associated infrastructure and potential for releases of oil and/or hazardous materials (OHM) from these past operations were made during the Phase I. These included potentially leaking electrical transformers, stained soil, drains, sumps, pits, hydraulic equipment, and OHM storage containers.
- REC #2 - Historic Environmental Investigations and Known Release Conditions [Underground Storage Tank (UST)-15319, Leaking Underground Storage Tank (LUST) 0713-LS, State Hazardous Waste Site (SHWS SR-07-1035), and SEMS Archive:
 - UST Summary (RIDEM File Number UST-15319): In general, the Site has had at least 25 underground storage tanks (USTs), ranging in capacity from 500-gallons to 10,000-gallons, and utilized for the storage of gasoline, #6 oil, unspecified fuel oil, mineral oil, aromatic solvents, and plasticizers (converted to water storage in circa 1960). On March 16, 1987, RIDEM issued a Certificate of Closure which stated that all regulated tanks “which existed from May 8, 1985”, “have either been removed or filled in accordance with State UST Regs”. Please note that additional vent pipes were observed, indicating that additional tanks may exist which were previously unidentified.
 - LUST Summary (RIDEM Case Number 0713-LS): Two (2) of the USTs, historically utilized for the storage of gasoline and aromatic solvents (i.e., USTs 1 and 9), are documented to have resulted in a release condition to soil and groundwater on the southwest portion of the Site, extending into the municipal right-of-way identified as Wellington Avenue. Contaminants of Concern (COCs) identified in soil and groundwater, at concentrations in

excess of the applicable RIDEM criteria, include benzene, toluene, ethylbenzene, and xylenes, and Light Non-aqueous Phase Liquid (LNAPL) (i.e., identified as consisting of a petroleum distillate/paint thinner and/or petroleum with a carbon range of C7 through C18.). The most recent groundwater monitoring event occurred in September 2020. At that time, no LNAPL was detected; however, a sheen was noted on groundwater in each of the four (4) groundwater monitoring wells. According to McPhail Associates, LLC, the plume is/was stable. No groundwater monitoring data from 2022 or 2023 was reported within the RIDEM file and a Letter of Compliance or No Further Action deeming that the release is closed were identified in the RIDEM files. Therefore, the Site may be out of compliance with the RIDEM Regulations.

- State Hazardous Waste Site (SHWS) (SR-07-1035)012/Superfund Enterprise Management System (SEMS)-Archive (RID01201771): In 1986, Rizzo Associates, Inc. conducted a limited subsurface assessment on the Site which identified the following COCs at concentrations in excess of the applicable RIDEM soil and/or groundwater criteria, select polynuclear aromatic hydrocarbons (PAHs). Remediation reportedly included soil excavation and the importation of fill (source of fill material not provided); In circa 1990, the US EPA identified the Site as a potentially hazardous waste site due to activities conducted by Gannon & Scott (RID01201771), a reclaimer of precious metals from plating and stripping solutions from the 1950s through the 1980s. The Site was subsequently investigated on behalf of the US EPA as part of the Superfund Site Assessment and Removal program which identified the following COCs at concentrations in excess of the applicable RIDEM soil and/or groundwater criteria: select chlorinated VOCs (CVOCs), select PAHs, and toluene. In 2002, the USEPA archived (i.e., removed) from the CERCLIS database and was not a candidate for inclusion on the National Priorities List (NPL) because there was not a drinking water well located in proximity to the Site. As a result, the Site was assigned the status of No Further Remedial Actions Planned (i.e., NFRAP). A NFRAP designation means that no further Federal Superfund Remedial Action was anticipated, under the jurisdiction of CERCLA. Please note that this is not meant to imply compliance with the RIDEM regulations; therefore, the lack of additional assessment and/or

remediation due to the above exceedances may represent non-compliance with the RIDEM Remediation Regulations.

- REC #3: Adjoining Land Usage: Based on information provided in the Sanborn Maps, two (2) parcels of land located immediately north of the Site (i.e., 388 and 433 Station Street) were historically utilized for jewelry manufacturing (i.e., 433 Station Street) from circa 1950 through 1972, and a repair shop in circa 1900 (i.e., 388 Station Street which was owned by the New York, New Haven, and Hartford railroad in 1900). No additional information regarding these businesses was obtained during the course of this assessment; however, usage of these properties for jewelry manufacturing and repairs associated with railroad machinery represents a REC.

These locations and conditions are summarized in Figure 2 – Site Plan, 530 Wellington Ave., Cranston Rhode Island, prepared by Sage, dated April 20, 2023, included in Appendix A. Additional environmental investigations and assessments are ongoing as of the date of this report.

2.3 Flood Zone Classification

The site is located on the Federal Emergency Management Agency (FEMA), Flood Insurance Rate Map (FIRM) for the City of Cranston, Map Number 44007C0318H, effective date October 2, 2015, as depicted below on Figure 3. The property lies completely within FEMA Flood Zone X, which is defined as areas outside of the 0.2% annual chance floodplain.

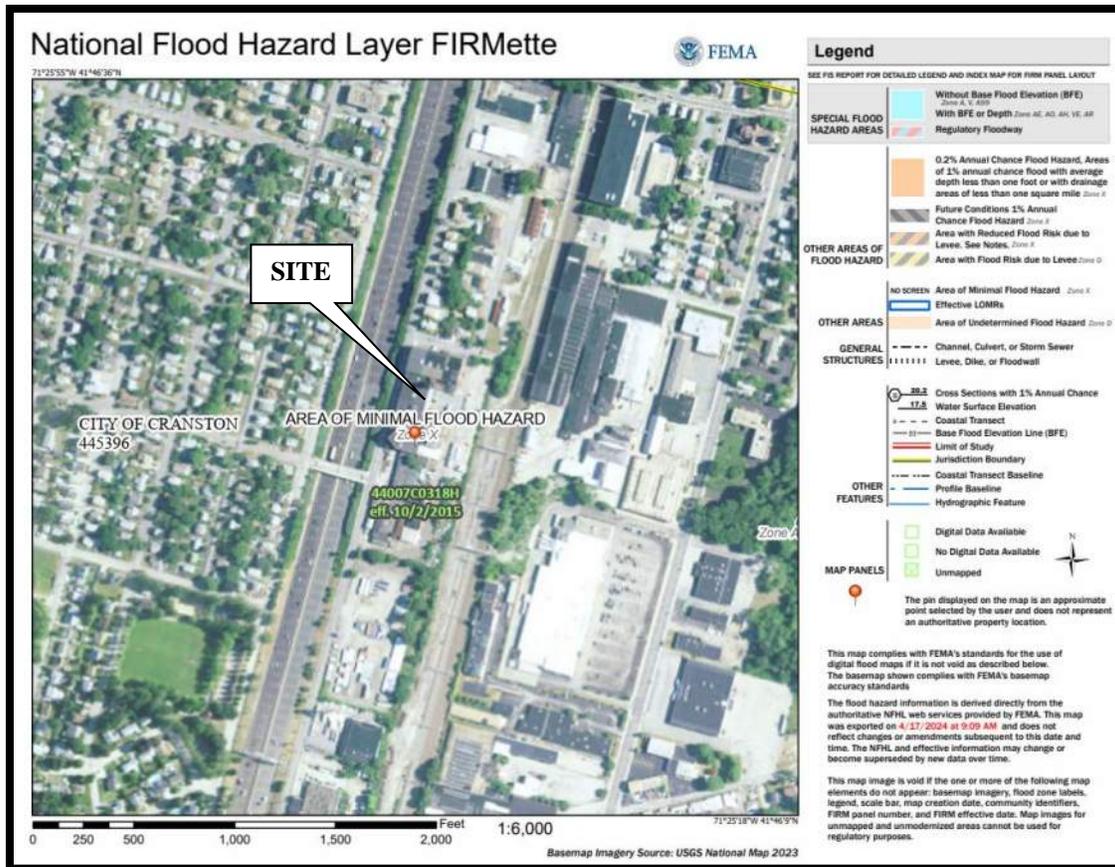


Figure 3 – FEMA Flood Insurance Rate Map
NOT TO SCALE

2.4 Natural Resources

According to the RIDEM Environmental Resource Map, the site is located within the Pawtuxet River Watershed (ID No. 010900040609). Stormwater runoff from the site appears to be directed to Fenner Pond (RI0006017L-08), which ultimately discharges to the Pawtuxet River. Fenner Pond is located on the State of Rhode Island 2022 Impaired Water Report List. The cause of impairment within Fenner Pond is due to the Phosphorus levels. There are no total maximum daily loads (TMDL) established at this time. The site is not within any State-designated natural heritage area, unfragmented forest tracts, state, regional, or community greenways and green space priorities. The site does not contain any land in active agricultural use.

2.5 Zoning

The subject property is located within the City of Cranston’s General Industry District (M-2). The following are the dimensional requirements for the M-2 zone, along with existing conditions associated with the existing mill complex:

Zoning Criteria	M-2 Requirement	Existing
Min. Lot Area	60,000 SF	237,000 SF
Min. Frontage & Lot Width	200 feet	249 feet
Min. Front Yard Depth	40 feet	0 feet ⁽¹⁾
Min. Side Yard Depth	25 feet	42.6 feet
Min. Rear Yard Depth	30 feet	NA
Maximum Building Coverage	60%	43.8%
Max. Building Height	35 feet	45.1 feet ⁽¹⁾

1. Pre-existing, non-conforming condition.

2.6 Easements

According to a July 2023 Class I Property Line Survey performed by Holland E. Shaw, PLS. Multiple easements exist on site. Two communications easements exist on the northern portion of the site. These easements are referenced in Deed Book 3293, Page’s 2 & 19, and Deed Book 5302, Page 54. Also, three sewer easements exist traveling south down the eastern side of the subject property and turning towards Wellington Avenue. These easements are referenced in Deed Book 220, Pages 37 & 38.

2.7 Existing Utilities

Water: Based on a review of existing conditions information obtained from the Providence Water Supply Board (PWSB), a 12-inch asbestos concrete (AC) water main exists within Wellington Avenue, and a 6-inch AC water main exists within Clarence Street. Based on a field review of existing conditions performed by JCE in April 2024, domestic water appears to be provided to the site via a 4-inch cast iron (CI) service from Clarence Street, and via a 4-inch CI service from Wellington Ave. In addition, fire protection water service appears to be provided to the site via a 6-inch CI service from Clarence Street, and via a 6-inch CI service from Wellington Ave.

Sewer: Based on a review of existing conditions information obtained from the City of Cranston, a 24-inch reinforced concrete sewer main exists within Wellington Avenue and an 8-inch vitrified clay (VCP) sewer main exists within Clarence Street. Based on field

investigations performed by JCE in April 2024, it appears that two (2) 6-inch sewer services exist from the existing building(s). An 8-inch VCP conveys effluent from the northern portion of the development to the existing main within Clarence Street; and an 8-inch VCP conveys effluent from the southern portion of the development to the existing main within Wellington Ave.

Gas: Based on a review of existing conditions information from Rhode Island Energy, gas mains exist within Clarence Street and Wellington Avenue. Based on field investigations by JCE in April 2024, it appears that a gas service enters the site from Clarence Street, with multiple meters on the existing building servicing the former tenants.

Electric/Telecommunications: Existing overhead electrical and telecommunication services are provided to the site via the overhead lines along Wellington Avenue, Station Street, and Clarence Street.

Stormwater: Based on field investigations performed by JCE in April 2024, multiple drywells appear to exist throughout the site, particularly within the open space at the eastern portion of the property. Many of these existing structures are deteriorated, filled with debris/sediment, and are likely non-functional.

3 PROPOSED DEVELOPMENT

The Applicant, CANAM RI LLC, is proposing a complete redevelopment of the site to accommodate a self-storage facility. The scope of improvements to the site includes demolition of multiple existing free-standing accessory structures and demolition of portions of the existing main building on the site. The existing main building is proposed to undergo complete interior and exterior renovation, including a small main office at the northeastern corner of the existing complex. The remainder of the facility is proposed to consist of approximately 1,191 variably sized self-storage units.

The main office is proposed to be accessed off of Clarence Street / Station Street with a small 3-stall parking area for potential clients. The remainder of the site is fenced off with key card access for self-storage customers. A 35-stall parking lot is proposed at the northeastern portion of the site, and a 12-stall parking lot is proposed at the western portion of the site, and a 15-stall parking lot is proposed at the southern portion of the site, all for customer and staff parking. Overall, a total of 50 parking spaces are proposed, including

two (2) handicap accessible spaces, in accordance with the Americans with Disabilities Act (ADA).

According to the City of Cranston’s Zoning Ordinance, there is no specific use within Chapter 17.64 “Off Street Parking” fitting the definition of self-storage facilities. As such, JCE referenced the Institute of Transportation Engineers (ITE) Parking Generation Manual, 5th edition, dated January 2019. The ITE Manual identifies self-storage as “mini-warehouse”, land use code 151. Based on the ITE Manual, peak parking demand per 100 storage units ranges from a minimum of 1.05 to a maximum of 2.38. Based on the 1,191 self-storage units proposed, this equates to a parking requirement ranging from 13 to 29 spaces. The currently proposed 50 spaces exceeds the anticipated peak parking demand per the ITE Manual.

Additional site improvements include perimeter fencing, loading dock canopy, a compacted gravel outdoor storage area for RVs, boats, etc., perimeter paved access road for customers and Fire Department access, landscape improvements, and stormwater management improvements.

3.1 Zoning

As previously noted, the subject property is located within the City of Cranston’s General Industry District (M-2). The proposed use, self-storage, is allowed by right in the M-2 zone. However, due to the pre-existing non-conformities associated with the existing building, dimensional variances will be required, as summarized in the following table: conditions associated with the existing mill complex:

Zoning Criteria	M-2 Requirement	Existing	Proposed
Min. Lot Area	60,000 SF	237,000 SF	237,000 SF
Min. Frontage & Lot Width	200 feet	249 feet	249 feet
Min. Front Yard Depth	40 feet	0 feet ⁽¹⁾	0 feet ⁽¹⁾
Min. Side Yard Depth	25 feet	42.6 feet	42.6 feet
Min. Rear Yard Depth	30 feet	NA	NA
Maximum Building Coverage	60%	43.8%	42.7%
Max. Building Height	35 feet	45.1 feet ⁽¹⁾	45.1 feet ⁽¹⁾

1. Pre-existing, non-conforming condition. Dimensional variance required.

3.2 Proposed Utilities

Water: Modifications to the domestic and fire protection water services to the development are not anticipated. However, due to the change in use and resulting change in demand, review and approval from the Providence Water Supply Board will be required.

Sewer: Modifications to the existing sewer services are not anticipated. However, due to the change in use and resulting change in flow, review and approval from Veolia Water / Cranston Department of Public Works will be required.

Gas/Electric/Telecommunications: Major modifications to the site's gas and telecommunications services are not anticipated. However, due to the change in use, review and approval from Rhode Island Energy – Gas will likely be required. The proposed development will likely necessitate a new transformer, which will require coordination with Rhode Island Energy – Electric.

Stormwater: The proposed development includes a reduction in impervious area of approximately 2.7-percent, or about 6,500 square feet. In addition, beautification of the site, including placement of new loam and seed as well as landscape plantings, will assist in providing natural groundwater infiltration and water quality. In addition, several areas on the site are being considered for additional water quality / stormwater management appurtenances. Environmental assessments are ongoing which will determine whether stormwater management appurtenances can discharge to groundwater or will be required to be wrapped / lined to prevent migration of contaminants. Regardless, the site's stormwater management system will be designed in accordance with all applicable State and local Standards, improving water quality, groundwater recharge (if possible), and reducing peak stormwater runoff rates and total stormwater runoff volumes to the maximum extent practicable.

4 PERMIT REQUIREMENTS

4.1 Local Permit Requirements

4.1.1 City of Cranston Plan Commission

The project team met with the City for a pre-application review of the project in March 2024. The project is considered a Major Land Development, requiring certain dimensional variances from the City's Zoning Ordinance. As such, the project is to be reviewed by the Plan Commission through the Unified Development Review process. The Major Land

Development process involves three (3) stages of review, Master Plan, Preliminary Plan and Final Plan.

4.1.2 Providence Water Supply Board

Due to the change in use and resulting change in demand, review and approval from the Providence Water Supply Board will be required.

4.1.3 Veolia Water/ Cranston Dept. of Public Works

Due to the change in use and resulting change in flow, review and approval from Veolia Water / Cranston Department of Public Works will be required.

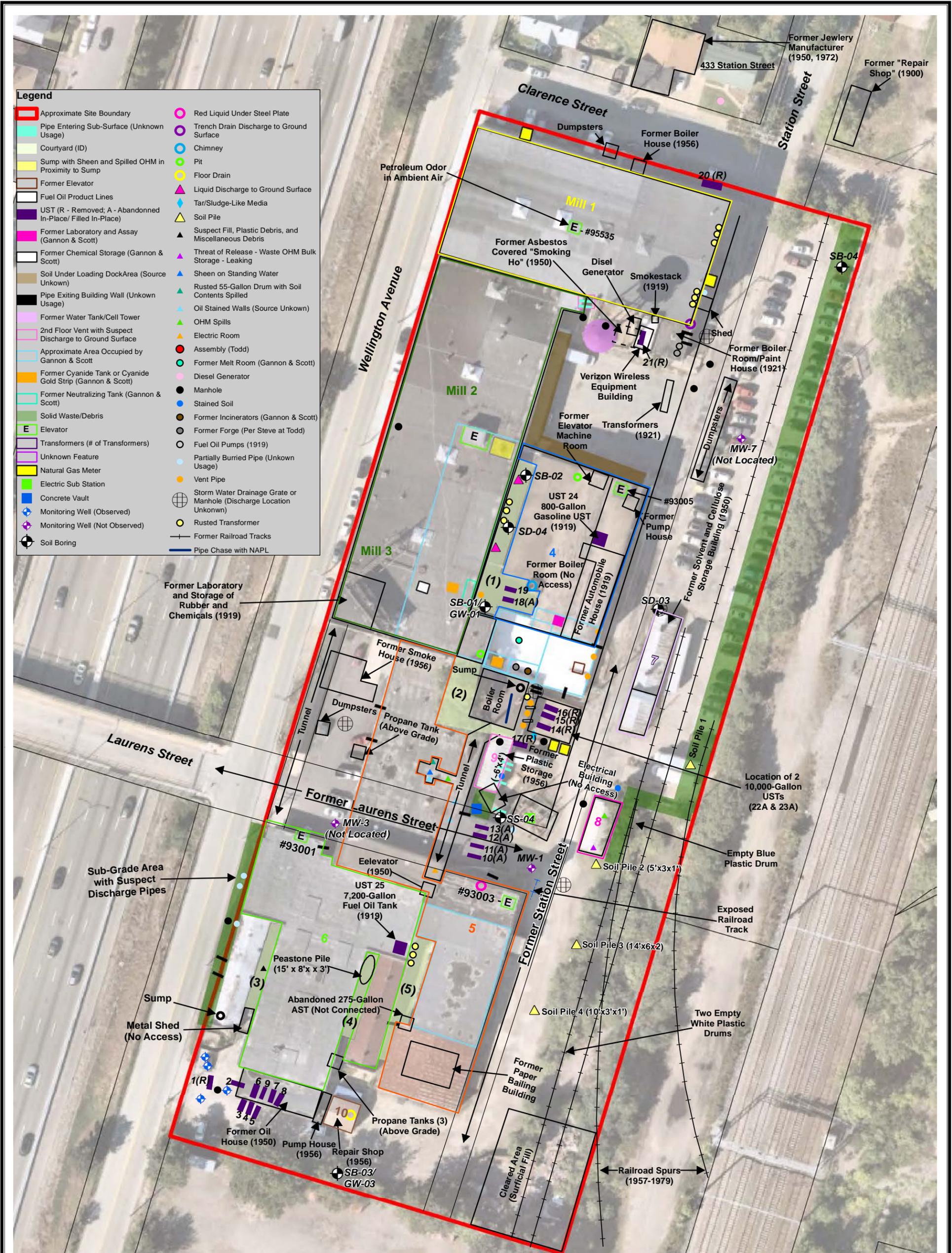
4.2 State Permit Requirements

4.2.1 RI Department of Environmental Management

Given the overall area of disturbance associated with development of this site, a submission to the Rhode Island Department of Environmental Management (RIDEM) Office of Water Resources/Stormwater Program is required for a Construction Stormwater Application (CSA). In addition, review and approval will be required by the DEM's Office of Waste Management for review and approval of the site's Remedial Action Work Plan (RAWP), Soils Management Plan (SMP), and Environmental Land Usage Restriction (ELUR).

Appendix A

Site Plan, 530 Wellington Ave., Cranston, Rhode Island
prepared by Sage Environmental, dated April 2023



★ Site Location

Site Plan

530 Wellington Avenue
Cranston, Rhode Island

Figure 2

Date: 04/20/2023

Job #: S4504

Created By: LM/jpl

* All Locations are Approximate and for Illustrative Purposes Only

0 20 40 80 120 160 Feet



Data Provided by RIGIS
Orthomimagery provided by nearmap.com



Appendix B

Reduced Size (11"x17") Architectural Plans and Renderings

prepared by Tacoma Engineers, undated



CANAM
SELF
STORAGE



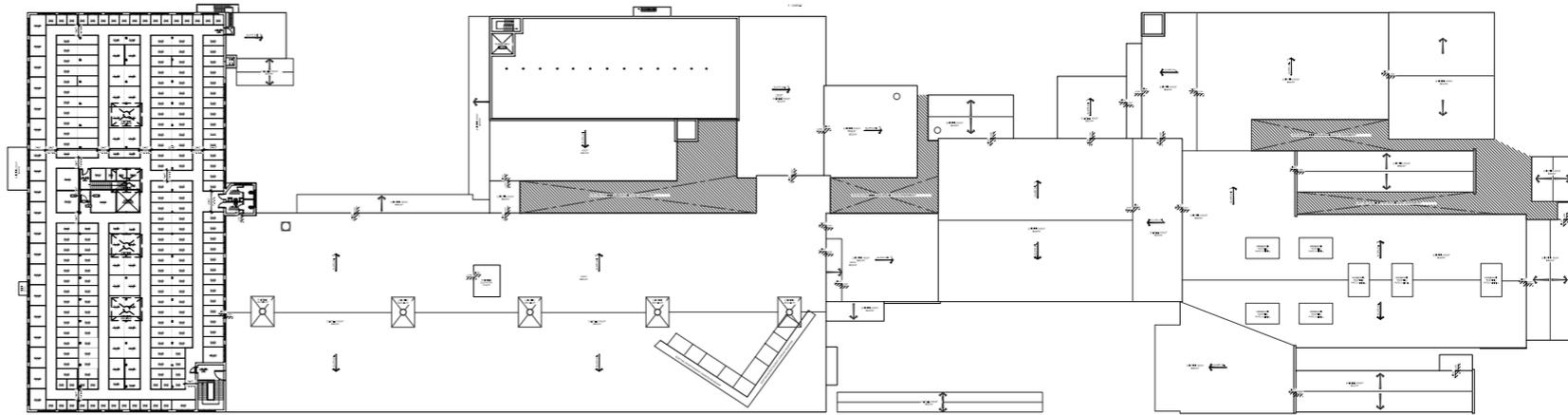
CANAM
SELF
STORAGE

530 WELLINGTON

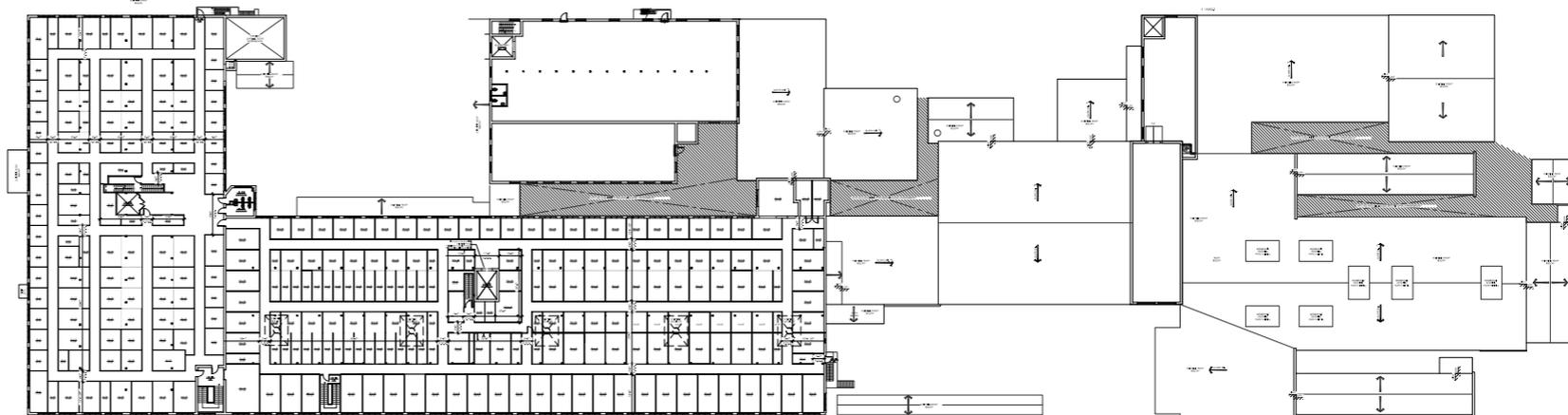
CANAM
SELF
STORAGE

These documents are instruments of service and are the copyright property of Tacoma Engineers. They may not be reproduced, altered or reused without the expressed written consent of Tacoma Engineers Inc.

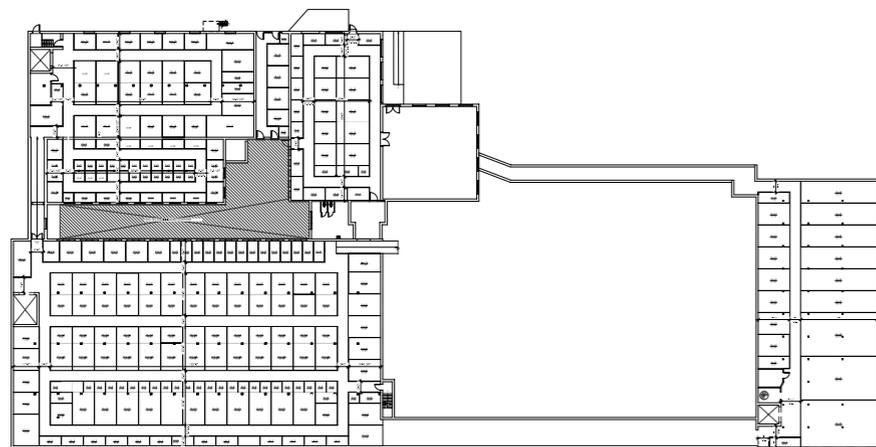
PROJECT	NOV 11 2010
DATE #	1
YEAR	2010



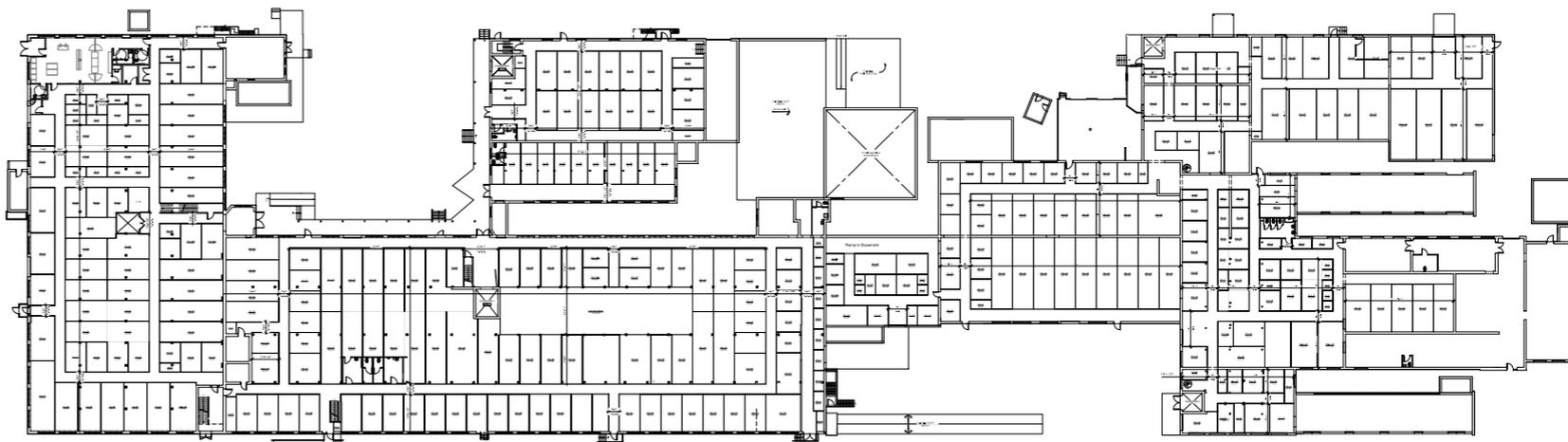
OVERALL THIRD FLOOR PLAN
SCALE: 1/32" = 1'-0"



OVERALL SECOND FLOOR PLAN
SCALE: 1/32" = 1'-0"



OVERALL BASEMENT FLOOR PLAN
SCALE: 1/32" = 1'-0"



OVERALL FIRST FLOOR PLAN
SCALE: 1/32" = 1'-0"

TACOMA ENGINEERS
176 Speedrite Avenue West
Guelph, Ontario N1H 1C3
Tel: 519.763.2000
www.tacomainc.com

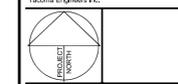
TOMIKO INC.
SELF STORAGE BUILDING
530 WELLINGTON AVE.
GRANSTON, ONTARIO

OVERALL FLOOR PLANS

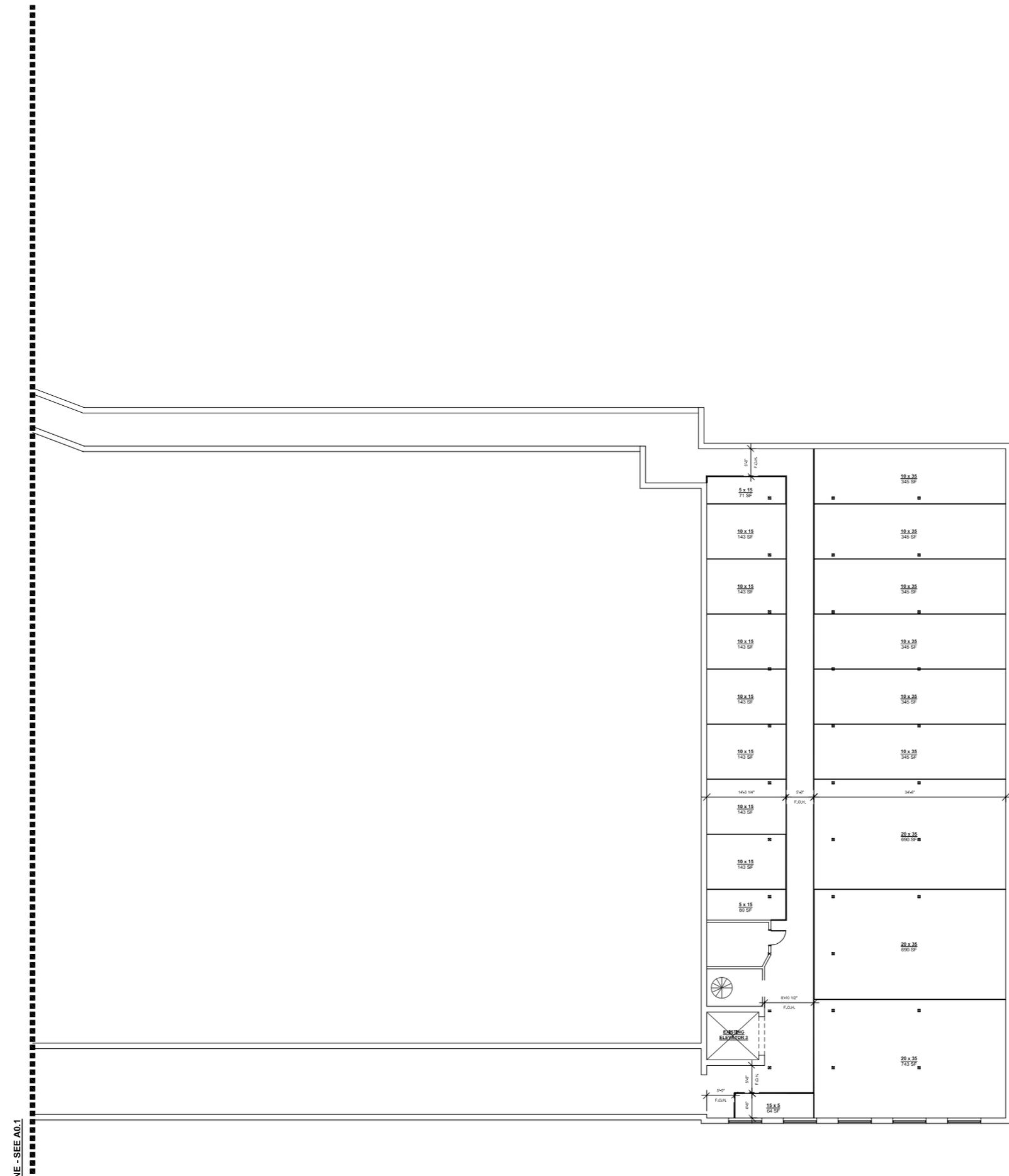
Sheet: 15-4117241 Drawn: CL

A0.0

These documents are instruments of service and are the copyright property of Tacoma Engineers. They may not be reproduced, altered or reused without the expressed written consent of Tacoma Engineers Inc.



No.	Date	Revised For	Prepared By
1	DATE # YEAR	NOTE	



MATCH LINE - SEE A0.1

PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

NEW WALL SCHEDULE

- NEW PARTITION WALL
- 1/2" GYPSUM BOARD
- 362S125-18 METAL STUDS @ 16" O.C.
- 1/2" GYPSUM BOARD
- TO UIS OF ROOF DECK OR STRUCTURE ABOVE

GENERAL NOTES:

- ALL CORRIDORS ARE 5'-0" WIDE, U.N.O.
- ALL STORAGE UNIT OPENINGS ARE 4'-0" WIDE OVERHEAD DOORS, U.N.O.
- ALL STORAGE UNIT WALL PARTITIONS TO BE LIGHT GAUGE PREFINISHED METAL
- ALL STORAGE UNIT CEILINGS TO BE WIRE MESH TO ALLOW FOR LIGHT AND SPRINKLER ACCESS.
- EXIT LIGHTS, SIGNAGE & EMERGENCY LIGHTING WALL PACK LOCATIONS TO BE VERIFIED ON SITE WITH BUILDING INSPECTOR.
- DIMENSIONS SHOWN ARE TO THE FACE OF WALL STUDS FOR NEW WALL CONSTRUCTION, U.N.O. ALL DIMENSIONS SHOWN ARE TO BE VERIFIED ON SITE DURING CONSTRUCTION.



176 Speedrite Avenue West
Guelph, Ontario N1H 1C3
Tel: 519-763-2000
www.tacomaei.com

TOMIKO INC.

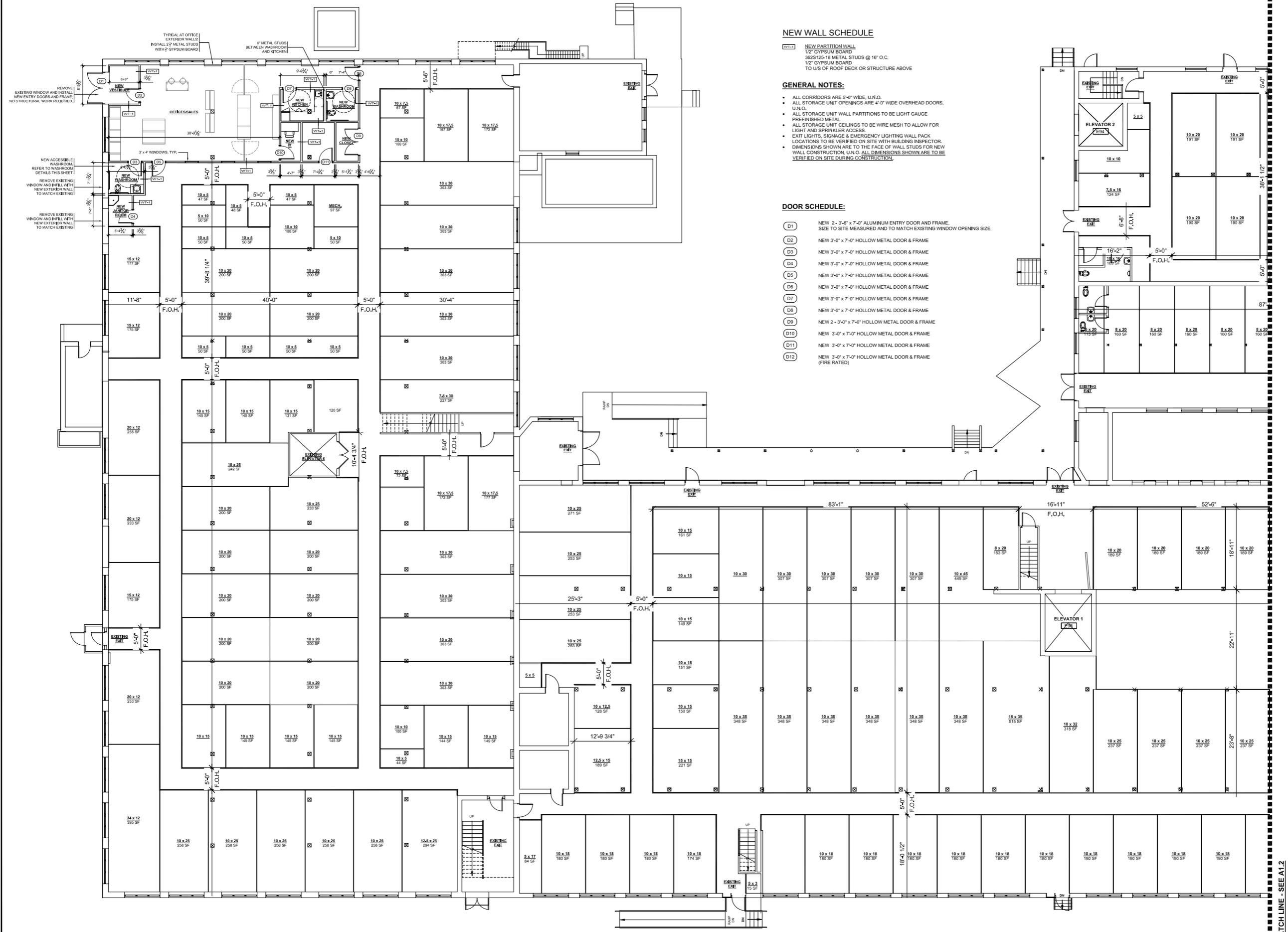
SELF STORAGE BUILDING
530 WELLINGTON AVE.
GRANBY, ONTARIO

PROPOSED BASEMENT FLOOR PLAN

File No: 15-4117241 Drawn By: CL

A0.2

PROJECT	WORTH
DATE #	182E
YEAR	



NEW WALL SCHEDULE

- W1-1 NEW PARTITION WALL
1/2" GYPSUM BOARD
3625 125-18 METAL STUDS @ 16" O.C.
1/2" GYPSUM BOARD
TO U/S OF ROOF DECK OR STRUCTURE ABOVE

GENERAL NOTES:

- ALL CORRIDORS ARE 5'-0" WIDE, U.N.O.
- ALL STORAGE UNIT OPENINGS ARE 4'-0" WIDE OVERHEAD DOORS, U.N.O.
- ALL STORAGE UNIT WALL PARTITIONS TO BE LIGHT GAUGE PREFINISHED METAL.
- ALL STORAGE UNIT CEILINGS TO BE WIRE MESH TO ALLOW FOR LIGHT AND SPRINKLER ACCESS.
- EXIT LIGHTS, SIGNAGE & EMERGENCY LIGHTING WALL PACK LOCATIONS TO BE VERIFIED ON SITE WITH BUILDING INSPECTOR.
- DIMENSIONS SHOWN ARE TO THE FACE OF WALL STUDS FOR NEW WALL CONSTRUCTION, U.N.O. ALL DIMENSIONS SHOWN ARE TO BE VERIFIED ON SITE DURING CONSTRUCTION.

DOOR SCHEDULE:

- D1 NEW 2'-3-6" x 7'-0" ALUMINUM ENTRY DOOR AND FRAME. SIZE TO SITE MEASURED AND TO MATCH EXISTING WINDOW OPENING SIZE.
- D2 NEW 3'-0" x 7'-0" HOLLOW METAL DOOR & FRAME
- D3 NEW 3'-0" x 7'-0" HOLLOW METAL DOOR & FRAME
- D4 NEW 3'-0" x 7'-0" HOLLOW METAL DOOR & FRAME
- D5 NEW 3'-0" x 7'-0" HOLLOW METAL DOOR & FRAME
- D6 NEW 3'-0" x 7'-0" HOLLOW METAL DOOR & FRAME
- D7 NEW 3'-0" x 7'-0" HOLLOW METAL DOOR & FRAME
- D8 NEW 3'-0" x 7'-0" HOLLOW METAL DOOR & FRAME
- D9 NEW 2'-3-0" x 7'-0" HOLLOW METAL DOOR & FRAME
- D10 NEW 3'-0" x 7'-0" HOLLOW METAL DOOR & FRAME
- D11 NEW 3'-0" x 7'-0" HOLLOW METAL DOOR & FRAME
- D12 NEW 3'-0" x 7'-0" HOLLOW METAL DOOR & FRAME (FIRE RATED)

PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

MATCH LINE - SEE A1.2

These documents are instruments of service and are the copyright property of Tacoma Engineers. They may not be reproduced, altered or reused without the expressed written consent of Tacoma Engineers Inc.

PROJECT	NOV 11 2011
DATE #	1
YEAR	2011



PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

NEW WALL SCHEDULE

- NEW PARTITION WALL
1/2" GYPSUM BOARD
362S125-18 METAL STUDS @ 16" O.C.
1/2" GYPSUM BOARD
TO U/S OF ROOF DECK OR STRUCTURE ABOVE

GENERAL NOTES:

- ALL CORRIDORS ARE 5'-0" WIDE, U.N.O.
- ALL STORAGE UNIT OPENINGS ARE 4'-0" WIDE OVERHEAD DOORS, U.N.O.
- ALL STORAGE UNIT WALL PARTITIONS TO BE LIGHT GAUGE PREFINISHED METAL.
- ALL STORAGE UNIT CEILINGS TO BE WIRE MESH TO ALLOW FOR LIGHT AND SPRINKLER ACCESS.
- EXIT LIGHTS, SIGNAGE & EMERGENCY LIGHTING WALL PACK LOCATIONS TO BE VERIFIED ON SITE WITH BUILDING INSPECTOR.
- DIMENSIONS SHOWN ARE TO THE FACE OF WALL STUDS FOR NEW WALL CONSTRUCTION, U.N.O. ALL DIMENSIONS SHOWN ARE TO BE VERIFIED ON SITE DURING CONSTRUCTION.

TACOMA ENGINEERS
176 Speedrite Avenue West
Guelph, Ontario N1H 1C3
Tel: 519.763.2000
www.tacomainc.com

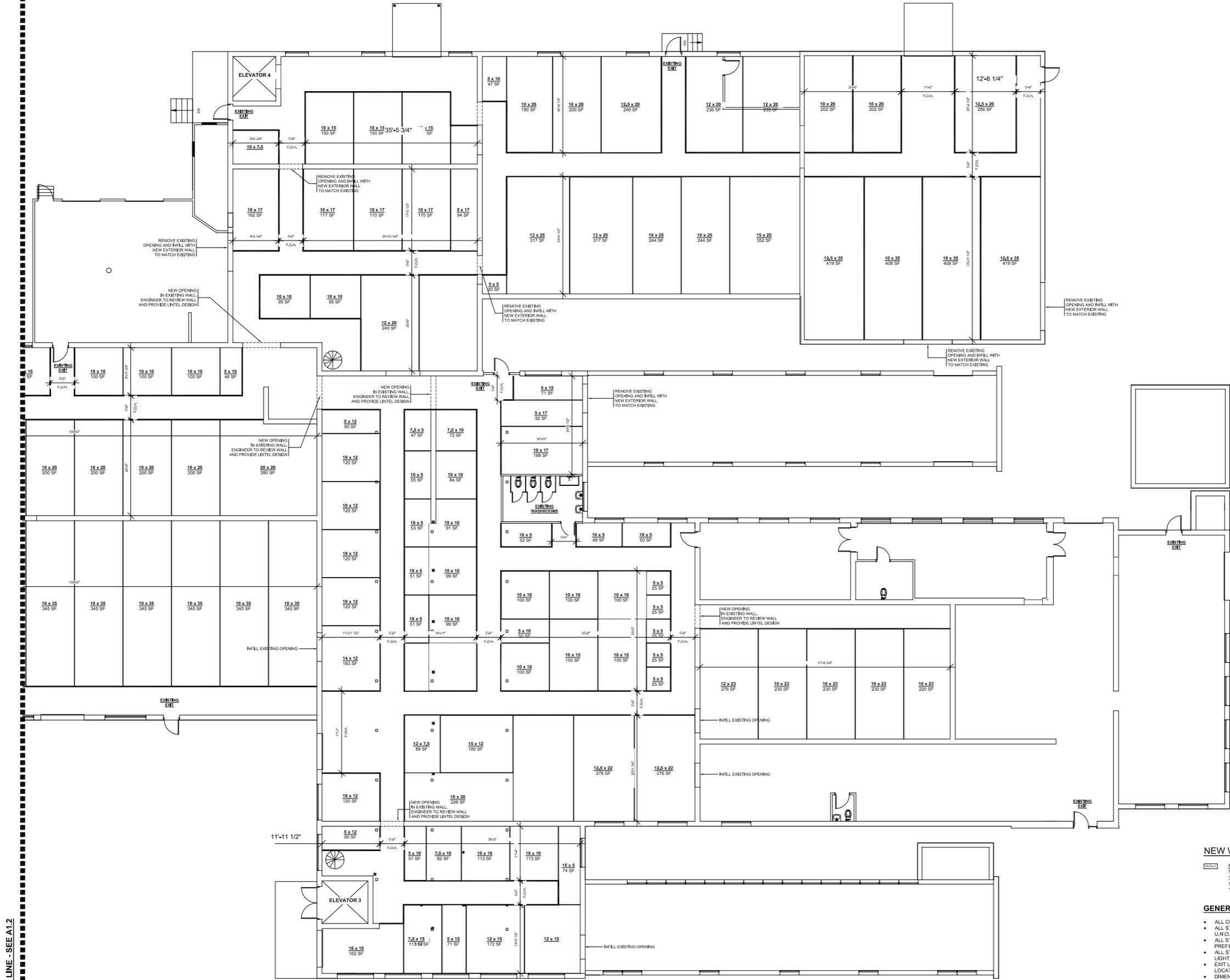
TOMIKO INC.

SELF STORAGE BUILDING
530 WELLINGTON AVE.
GRANSTON, ONTARIO

PROPOSED FIRST FLOOR PLAN

File No: 15-411724N Drawn By: CL

A1.2



PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

NEW WALL SCHEDULE

- NEW PARTITION WALL
- 1/2" GYPSUM BOARD
- 3625 25-18 METAL STUDS @ 16" O.C.
- 1/2" GYPSUM BOARD
- TO US OF ROOF DECK OR STRUCTURE ABOVE

GENERAL NOTES:

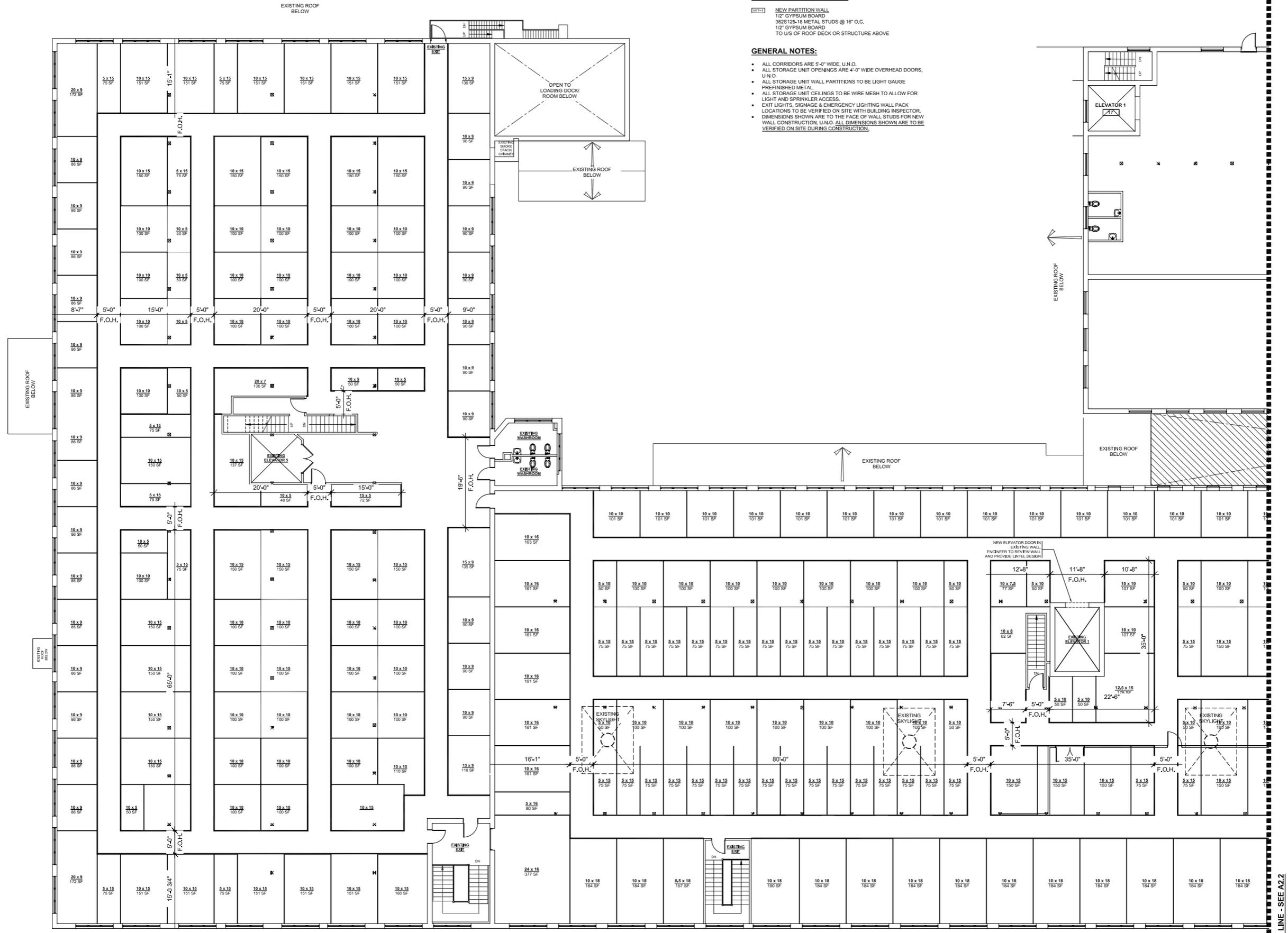
- ALL CORRIDORS ARE 5'-0" WIDE, U.N.O.
- ALL STORAGE UNIT OPENINGS ARE 4'-0" WIDE OVERHEAD DOORS, U.N.O.
- ALL STORAGE UNIT WALL PARTITIONS TO BE LIGHT GAUGE PRE-FINISHED METAL.
- ALL STORAGE UNIT CEILINGS TO BE WIRE MESH TO ALLOW FOR LIGHT AND SPRINKLER ACCESS.
- EXIT LIGHTS, SIGNAGE & EMERGENCY LIGHTING WALL PACK LOCATIONS TO BE VERIFIED ON SITE WITH BUILDING INSPECTOR.
- DIMENSIONS SHOWN ARE TO THE FACE OF WALL STUDS FOR NEW WALL CONSTRUCTION. U.N.O. ALL DIMENSIONS SHOWN ARE TO BE VERIFIED ON SITE DURING CONSTRUCTION.

NEW WALL SCHEDULE

NEW PARTITION WALL
 1/2" GYPSUM BOARD
 3625125-18 METAL STUDS @ 16" O.C.
 1/2" GYPSUM BOARD
 TO U/S OF ROOF DECK OR STRUCTURE ABOVE

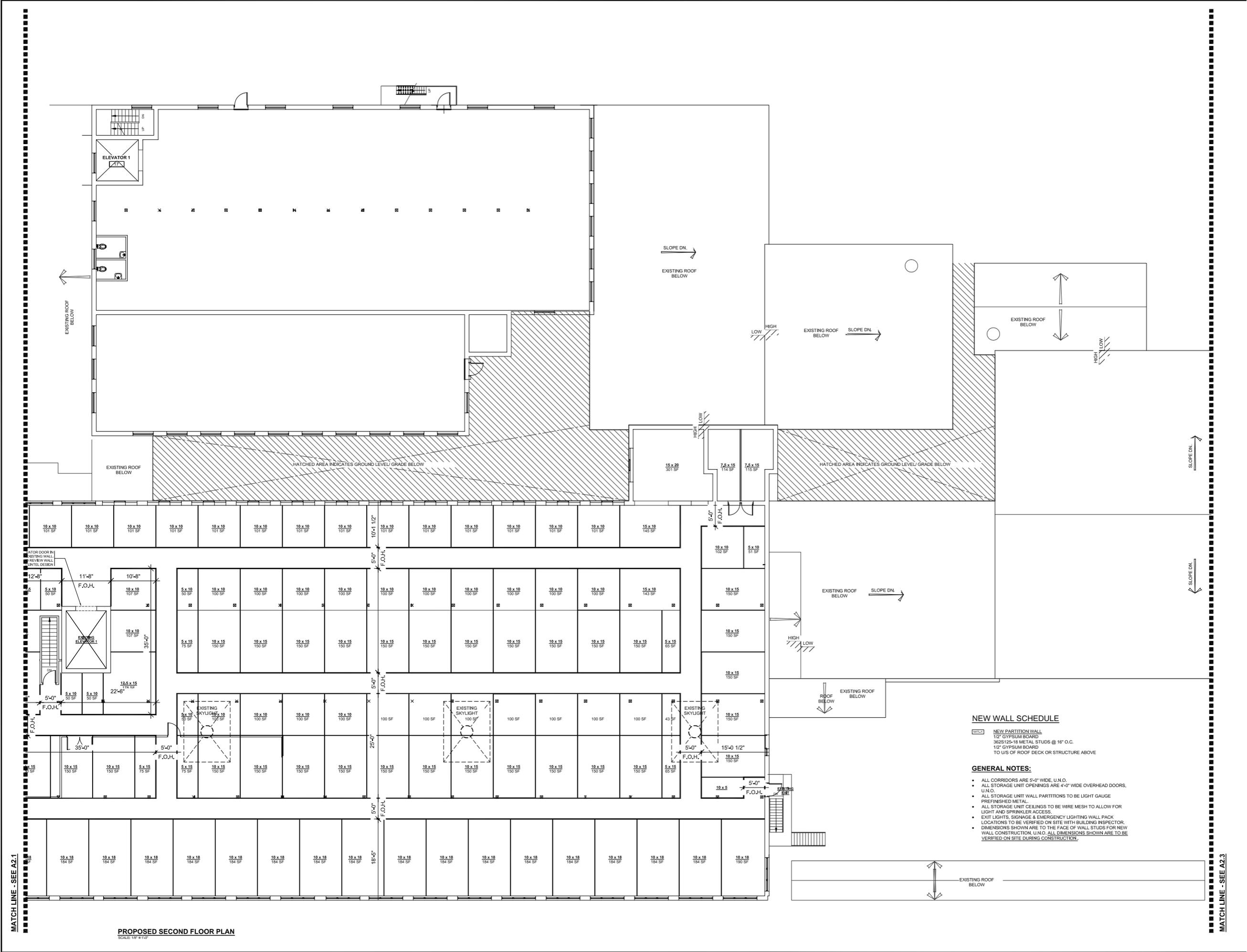
GENERAL NOTES:

- ALL CORRIDORS ARE 5'-0" WIDE, U.N.O.
- ALL STORAGE UNIT OPENINGS ARE 4'-0" WIDE OVERHEAD DOORS, U.N.O.
- ALL STORAGE UNIT WALL PARTITIONS TO BE LIGHT GAUGE PREFINISHED METAL.
- ALL STORAGE UNIT CEILINGS TO BE WIRE MESH TO ALLOW FOR LIGHT AND SPRINKLER ACCESS.
- EXIT LIGHTS, SIGNAGE & EMERGENCY LIGHTING WALL PACK LOCATIONS TO BE VERIFIED ON SITE WITH BUILDING INSPECTOR.
- DIMENSIONS SHOWN ARE TO THE FACE OF WALL STUDS FOR NEW WALL CONSTRUCTION, U.N.O. ALL DIMENSIONS SHOWN ARE TO BE VERIFIED ON SITE DURING CONSTRUCTION.



PROPOSED SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

MATCH LINE - SEE A2.2



PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

NEW WALL SCHEDULE

- (W-1) NEW PARTITION WALL
1/2" GYPSUM BOARD
3625 125-18 METAL STUDS @ 16" O.C.
1/2" GYPSUM BOARD
TO US OF ROOF DECK OR STRUCTURE ABOVE

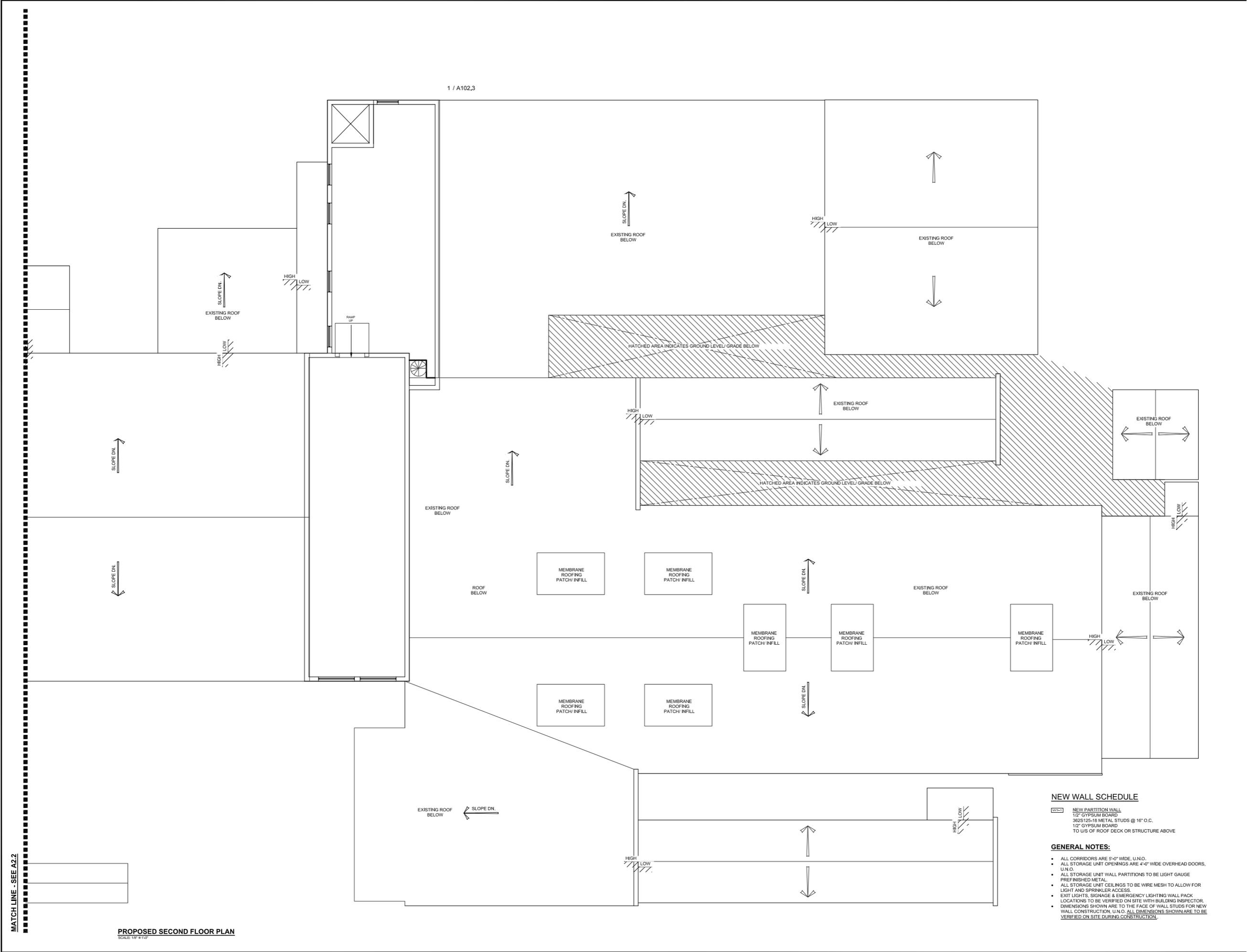
GENERAL NOTES:

- ALL CORRIDORS ARE 5'-0" WIDE, U.M.O.
- ALL STORAGE UNIT OPENINGS ARE 4'-0" WIDE OVERHEAD DOORS, U.N.O.
- ALL STORAGE UNIT WALL PARTITIONS TO BE LIGHT GAUGE PREFINISHED METAL.
- ALL STORAGE UNIT CEILINGS TO BE WIRE MESH TO ALLOW FOR LIGHT AND SPRINKLER ACCESS.
- EXIT LIGHTS, SIGNAGE & EMERGENCY LIGHTING WALL PACK LOCATIONS TO BE VERIFIED ON SITE WITH BUILDING INSPECTOR.
- DIMENSIONS SHOWN ARE TO THE FACE OF WALL STUDS FOR NEW WALL CONSTRUCTION, U.N.O. ALL DIMENSIONS SHOWN ARE TO BE VERIFIED ON SITE DURING CONSTRUCTION.

These documents are instruments of service and are the copyright property of Tacoma Engineers. They may not be reproduced, altered or reused without the expressed written consent of Tacoma Engineers Inc.

PROJECT NUMBER	
DATE #	NOTE
YEAR	

1 / A102,3



NEW WALL SCHEDULE

- NEW PARTITION WALL
- 1/2" GYPSUM BOARD
- 362S 125-18 METAL STUDS @ 16" O.C.
- 1/2" GYPSUM BOARD
- TO U/S OF ROOF DECK OR STRUCTURE ABOVE

GENERAL NOTES:

- ALL CORRIDORS ARE 5'-0" WIDE, U.N.O.
- ALL STORAGE UNIT OPENINGS ARE 4'-0" WIDE OVERHEAD DOORS, U.N.O.
- ALL STORAGE UNIT WALL PARTITIONS TO BE LIGHT GAUGE PREFINISHED METAL.
- ALL STORAGE UNIT CEILINGS TO BE WIRE MESH TO ALLOW FOR LIGHT AND SPRINKLER ACCESS.
- EXIT LIGHTS, SIGNAGE & EMERGENCY LIGHTING WALL PACK LOCATIONS TO BE VERIFIED ON SITE WITH BUILDING INSPECTOR.
- DIMENSIONS SHOWN ARE TO THE FACE OF WALL STUDS FOR NEW WALL CONSTRUCTION, U.N.O. ALL DIMENSIONS SHOWN ARE TO BE VERIFIED ON SITE DURING CONSTRUCTION.

PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

TACOMA ENGINEERS

176 Speedrite Avenue West
Guelph, Ontario N1H 1C3
Tel: 519.763.2000
www.tacomainc.com

TOMIKO INC.

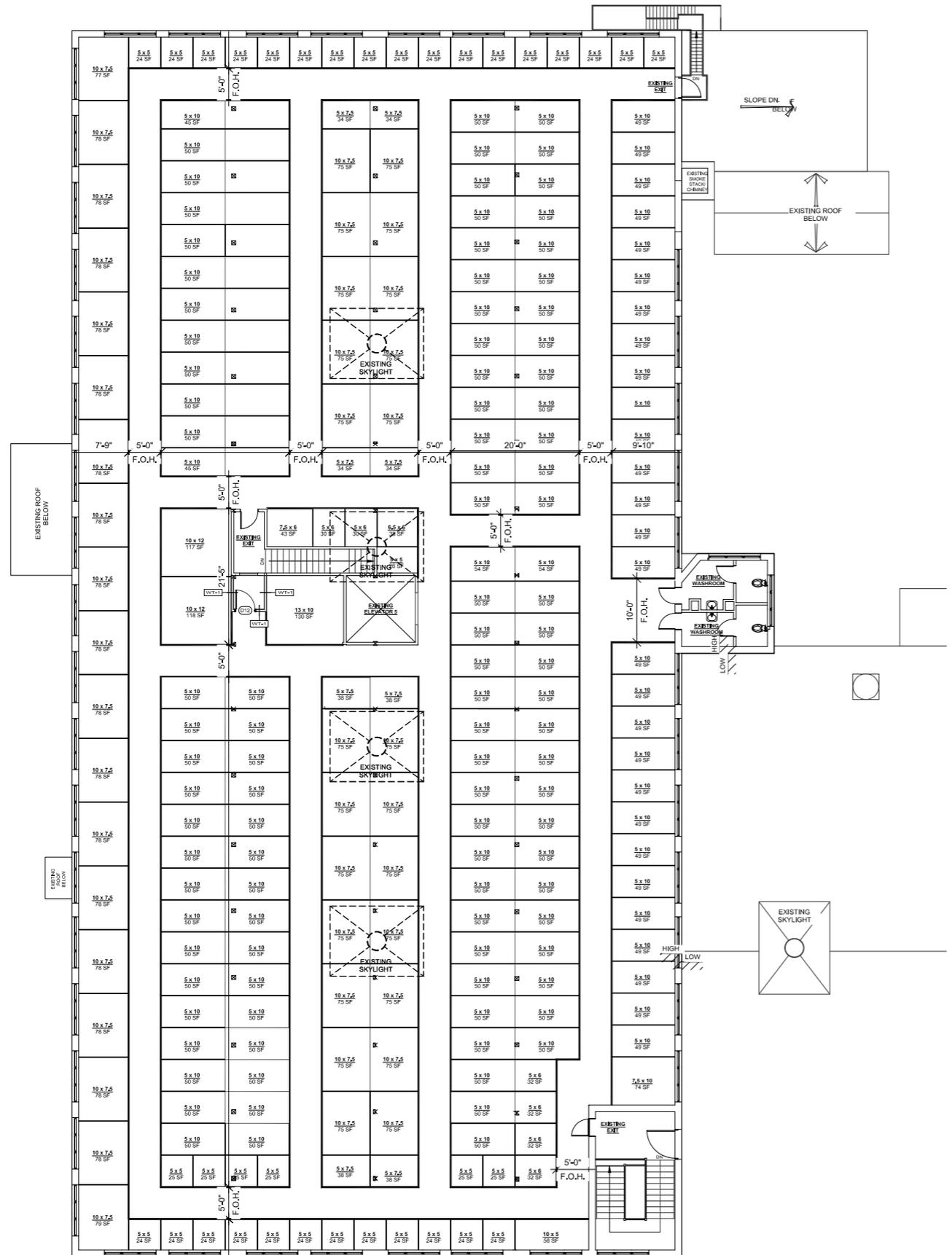
SELF STORAGE BUILDING
530 WELLINGTON AVE.
GRANSTON, ONTARIO

PROPOSED SECOND FLOOR PLAN

File No: TS-4117241 Drawn By: CL

A2.3

PROJECT NUMBER	
DATE #	NOTE
1	YEAR



PROPOSED THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

NEW WALL SCHEDULE

- (W-1) NEW PARTITION WALL
1/2" GYPSUM BOARD
362S125-18 METAL STUDS @ 16" O.C.
1/2" GYPSUM BOARD
TO U/S OF ROOF DECK OR STRUCTURE ABOVE

GENERAL NOTES:

- ALL CORRIDORS ARE 5'-0" WIDE, U.N.O.
- ALL STORAGE UNIT OPENINGS ARE 4'-0" WIDE OVERHEAD DOORS, U.N.O.
- ALL STORAGE UNIT WALL PARTITIONS TO BE LIGHT GAUGE PREFINISHED METAL.
- ALL STORAGE UNIT CEILINGS TO BE WIRE MESH TO ALLOW FOR LIGHT AND SPRINKLER ACCESS.
- EXIT LIGHTS, SIGNAGE & EMERGENCY LIGHTING WALL PACK LOCATIONS TO BE VERIFIED ON SITE WITH BUILDING INSPECTOR.
- DIMENSIONS SHOWN ARE TO THE FACE OF WALL STUDS FOR NEW WALL CONSTRUCTION, U.N.O. ALL DIMENSIONS SHOWN ARE TO BE VERIFIED ON SITE DURING CONSTRUCTION.

Appendix C

Reduced Size (11"x17") Master Plan Site Plans
prepared by Joe Casali Engineering, Inc., dated May 2024

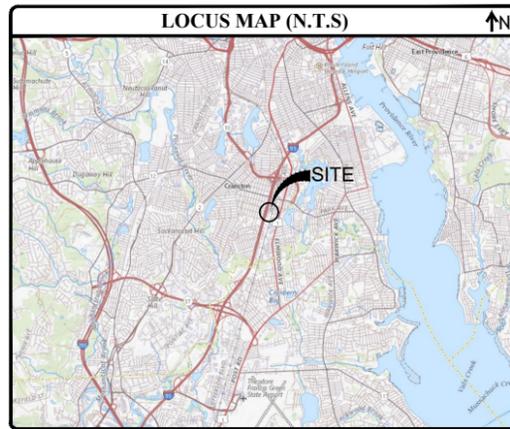
MASTER PLAN for a PROPOSED MAJOR LAND DEVELOPMENT PROJECT

SELF-STORAGE FACILITY

530-532 WELLINGTON AVENUE
CRANSTON, RHODE ISLAND
AP 3, LOT 107

ZONING DISTRICT: INDUSTRIAL M-2

OWNER/APPLICANT	ENGINEER	ENVIRONMENTAL	SURVEYOR
CANAM RI LLC / TOMIKO INC. ATTN: MIKE JOBB 530 WELLINGTON AVE. CRANSTON, RI 02910-2950	JOE CASALI ENGINEERING, INC. 300 POST ROAD WARWICK, RI 02888 (401) 944-1300 phone (401) 944-1313 fax	SAGE ENVIRONMENTAL INC. 301 FRIENDSHIP STREET PROVIDENCE, RI 02903 (888) 723-9920 phone (401) 723-9973 fax	GRS GROUP 300 SPECTRUM CENTER DR. SUITE 145 IRVINE, CA 92618



GENERAL NOTES:

- ALTA/NSPS LAND TITLE SURVEY COMPLETED BY GRS GROUP, 300 SPECTRUM CENTER DRIVE, SUITE 145, IRVINE, CA 92618 IN APRIL 2023. AERIAL IMAGERY OBTAINED FROM NEARMAP.COM, MARCH 2023. EXISTING CONDITIONS/TOPOGRAPHIC SURVEY COMPLETED BY JOE CASALI ENGINEERING, INC. IN APRIL 2024. THE SITE IS SUBJECT TO MULTIPLE EASEMENTS, RESTRICTIONS, AND ZONING BOARD DECISIONS; REFER TO THE ALTA/NSPS LAND TITLE SURVEY (REFERENCE PLAN 1) FOR ADDITIONAL DETAILS.
- THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL UTILITY COMPANIES AND/OR TOWN STAKEHOLDERS, WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK, TO BE PERFORMED BY THE CONTRACTOR, ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
- THE ENTIRE PARCEL AND ALL SURROUNDING PARCELS LIE WITHIN THE CITY'S M-2 (INDUSTRIAL) ZONE.
- THIS SITE LIES ENTIRELY WITHIN FLOOD ZONE X - AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS DESIGNATED ON THE "NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP, PROVIDENCE COUNTY, RHODE ISLAND, CITY OF CRANSTON, MAP NO. 44007C0318H, MAP REVISED: OCTOBER 2, 2015, FEDERAL EMERGENCY MANAGEMENT AGENCY".
- SOILS EXISTING ON THE SITE CONSIST OF URBAN LAND (U_r), THE PRIMARY COMPONENT OF WHICH IS HUMAN TRANSPORTED MATERIAL, OR FILL. U_r SOILS GENERALLY REQUIRE ON-SITE ANALYSIS TO DETERMINE SUITABILITY FOR USE.
- PUBLIC WATER, SEWER, GAS AND ELECTRIC ARE AVAILABLE TO THE SITE FROM WITHIN WELLINGTON AVE.

LEGEND:

- EXISTING PROPERTY LINE
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- BUILDING PHASE LINE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STONE WALL
- EXISTING CURB
- PROPOSED CURB (STATE)
- CHAIN LINK FENCE
- EXISTING DRAIN LINE
- PROPOSED DRAIN LINE
- EXISTING DRAINAGE MANHOLE
- PROPOSED DRAINAGE MANHOLE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- EXISTING GAS LINE
- GAS
- PROPOSED GAS LINE
- W
- EXISTING WATER LINE
- W
- PROPOSED WATER LINE
- WG
- EXISTING WATER GATE
- W
- PROPOSED WATER GATE
- S
- EXISTING SEWER LINE
- S
- PROPOSED SEWER LINE
- S
- EXISTING SEWER MANHOLE
- S
- PROPOSED SEWER MANHOLE
- N/F
- NOW OR FORMERLY
- TREELINE
- SILT FENCE
- LOD
- LIMIT OF DISTURBANCE
- TEST HOLE
- HYDRANT
- LAMP POLE
- FDC
- FIRE DEPARTMENT CONTROL
- HANDICAP

ZONING DIMENSIONAL REQUIREMENTS:

ZONING CRITERIA	REQUIRED	EXISTING
ZONING DISTRICT	M-2	M-2
MINIMUM LOT AREA	60,000 SF	237,000 SF
MINIMUM FRONTAGE	200 FT	249 FT
MINIMUM LOT WIDTH	200 FT	249 FT
MINIMUM FRONT YARD	40 FT	0 FT (N)
MINIMUM SIDE YARD	25 FT	42.6 FT
MINIMUM REAR YARD	30 FT	NA
MAXIMUM BUILDING HEIGHT	35 FT	45.1 FT (P)
MAXIMUM LOT COVERAGE	60%	43.8%

- NOTES:
- THE PROPOSED USE - SELF-STORAGE - IS ALLOWED BY RIGHT IN THE M-2 ZONE.
 - PRE-EXISTING, NON-CONFORMING CONDITION.



JOSEPH A. CASALI
No. 7250
REGISTERED PROFESSIONAL ENGINEER
05/02/2024

PROPOSED SELF-STORAGE BUILDING
530-532 WELLINGTON AVENUE
CRANSTON, RHODE ISLAND
AP 3, LOT 107

REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED BY: DRD
DRAWN BY: JAS
CHECKED BY: JAC/MCG
DATE: MAY 2024
PROJECT NO: 24-25

PRELIMINARY, NOT FOR CONSTRUCTION

EXISTING CONDITIONS AERIAL

SHEET 1 OF 3

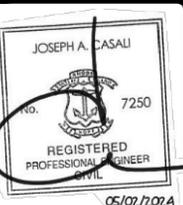
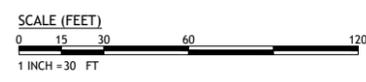
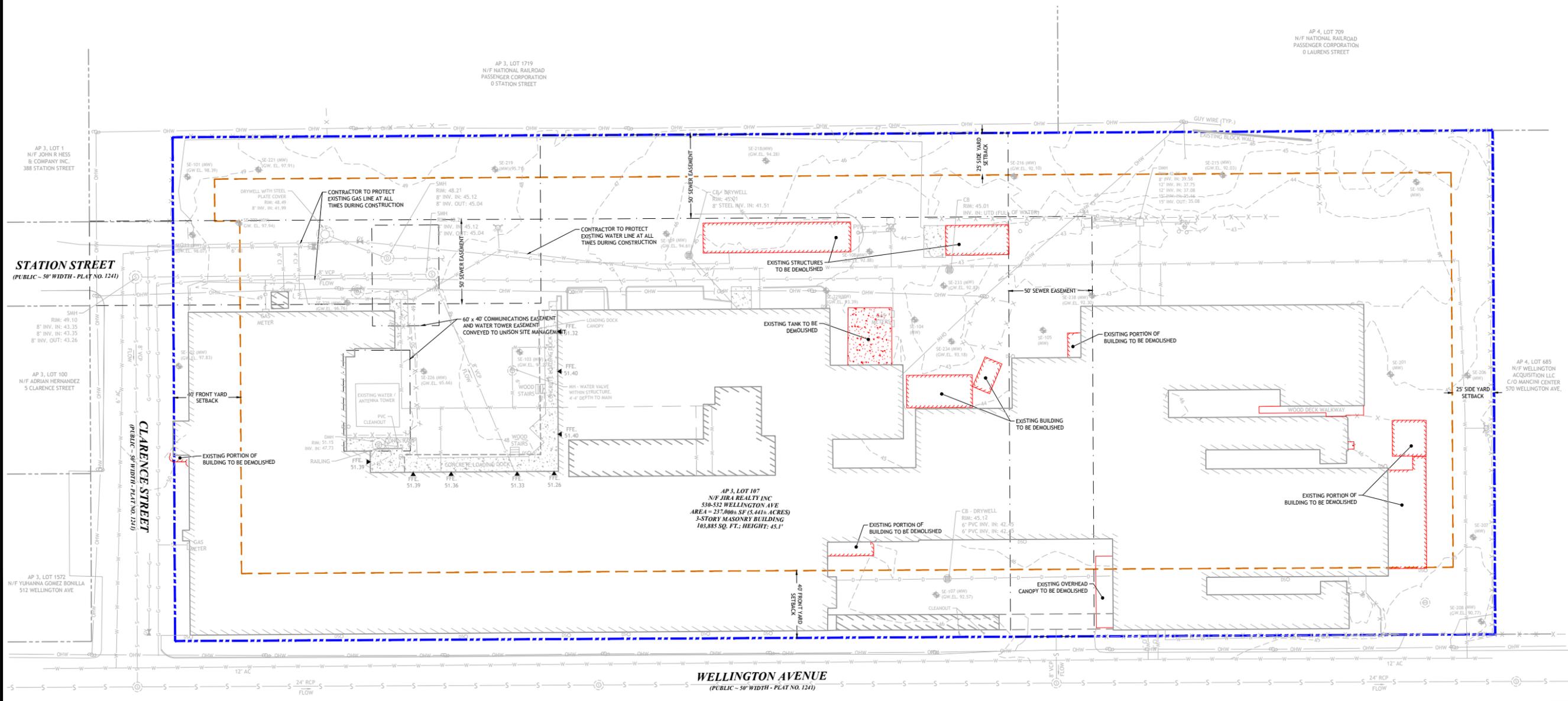
C:\24-25 Mike-Jobba\CADD\Wellington Ave Self Storage - MASTER PLAN.dwg, May 02, 2024, 8:53am

LOCATION OF EXISTING UTILITIES SHOWN ARE FROM CITY CALCULATION AND EXISTING INFORMATION AND NOT FIELD SURVEY. EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND NOT TO BE RELIED UPON. EXISTING UTILITY DEPT. TO VERIFY UTILITY LOCATION CALL 800-4-A-SAFE (4727).

ZONING DIMENSIONAL REQUIREMENTS:

ZONING CRITERIA	REQUIRED	EXISTING
ZONING DISTRICT	M-2	M-2
MINIMUM LOT AREA	60,000 SF	237,000 SF
MINIMUM FRONTAGE	200 FT	249 FT
MINIMUM LOT WIDTH	200 FT	249 FT
MINIMUM FRONT YARD	40 FT	0 FT ⁽¹⁾
MINIMUM SIDE YARD	25 FT	42.6 FT
MINIMUM REAR YARD	30 FT	NA
MAXIMUM BUILDING HEIGHT	35 FT	45.1 FT ⁽²⁾
MAXIMUM LOT COVERAGE	60%	43.8%

- NOTES:
 1. THE PROPOSED USE - SELF-STORAGE - IS ALLOWED BY RIGHT IN THE M-2 ZONE.
 2. PRE-EXISTING, NON-CONFORMING CONDITION.



PROPOSED SELF-STORAGE BUILDING
 530-532 WELLINGTON AVENUE
 CRANSTON, RHODE ISLAND
 AP 3, LOT 107

REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED BY: DRD
 DRAWN BY: JAS
 CHECKED BY: JAC/MCG
 DATE: MAY 2024
 PROJECT NO: 24-25

PRELIMINARY, NOT FOR CONSTRUCTION

EXISTING CONDITIONS PLAN

SHEET 2 OF 3

C:\24-25\107-108-109-110-111-112-113-114-115-116-117-118-119-120-121-122-123-124-125-126-127-128-129-130-131-132-133-134-135-136-137-138-139-140-141-142-143-144-145-146-147-148-149-150-151-152-153-154-155-156-157-158-159-160-161-162-163-164-165-166-167-168-169-170-171-172-173-174-175-176-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000

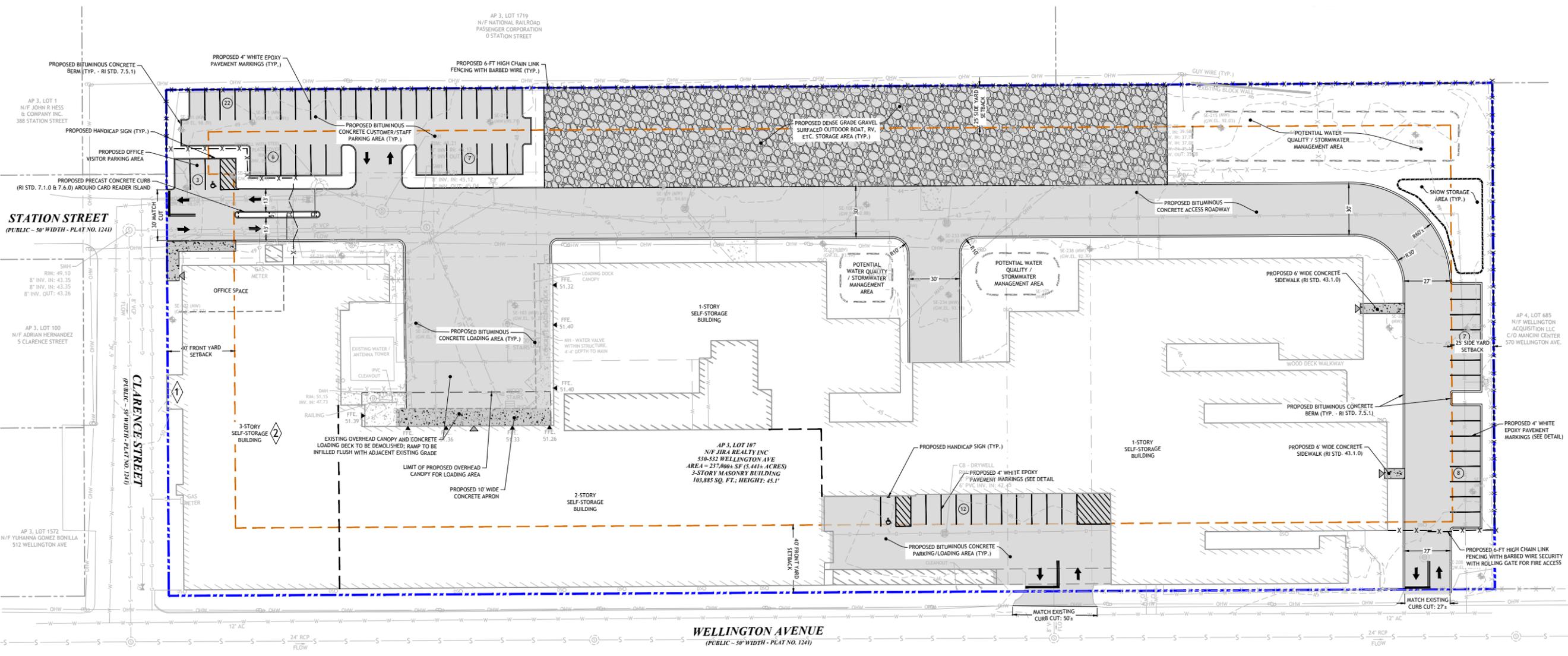
ZONING DIMENSIONAL REQUIREMENTS:

ZONING CRITERIA	REQUIRED	EXISTING	PROPOSED
ZONING DISTRICT	M-2	M-2	M-2
MINIMUM LOT AREA	60,000 SF	237,000 SF	237,000 SF
MINIMUM FRONTAGE	200 FT	249 FT	249 FT
MINIMUM LOT WIDTH	200 FT	249 FT	249 FT
MINIMUM FRONT YARD	40 FT	0 FT ⁽¹⁾	0 FT ⁽¹⁾
MINIMUM SIDE YARD	25 FT	42.6 FT	42.6 FT
MINIMUM REAR YARD	30 FT	NA	NA
MAXIMUM BUILDING HEIGHT	35 FT	45.1 FT ⁽²⁾	45.1 FT ⁽²⁾
MAXIMUM LOT COVERAGE	60%	43.8%	42.7%

- NOTES:
 1. THE PROPOSED USE - SELF-STORAGE - IS ALLOWED BY RIGHT IN THE M-2 ZONE.
 2. PRE-EXISTING, NON-CONFORMING CONDITION.

CHAPTER 17.84-140 - LANDSCAPE STANDARDS:
 MINIMUM LANDSCAPING: 15% OF THE SF OF THE LOT
 237,000 SF TOTAL LOT AREA x 15% OF LOT AREA
 = 35,550 SF OF LANDSCAPING
 REQUIRED: 35,550 SF OF LANDSCAPING
 PROPOSED: 37,672 SF OF LANDSCAPING*
 *LANDSCAPE PLAN TO BE PROVIDED AT PRELIMINARY PLAN STAGE OF REVIEW.

CHAPTER 17.64 - OFF-STREET PARKING:
 NOTE: THERE IS NO SPECIFIC USE WITHIN CHAPTER 17.64 - OFF-STREET PARKING ASSOCIATED WITH SELF-STORAGE. REFERENCE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) PARKING GENERATION MANUAL, 5TH EDITION, JANUARY 2019.
 LAND USE: 151 (MINI-WAREHOUSE) (TYPICALLY REFERRED TO AS SELF-STORAGE)
 PEAK PARKING DEMAND PER 100 STORAGE UNITS:
 MIN = 1.05; MAX = 2.38
 1,191 TOTAL UNITS
 MIN: 1,191 UNITS / 100 * 1.05 = 13 SPACES
 MAX: 1,191 UNITS / 100 * 2.38 = 29 SPACES
 29 SPACES REQUIRED
 50 SPACES PROVIDED (2 ADA)



JCE
 JOE CASALI ENGINEERING, INC.
 CIVIL ENGINEERING, ARCHITECTURE, PLANNING
 DRAINAGE - WATER RESOURCES, TRAFFIC ENGINEERING
 300 POPE ROAD, WARWICK, RI 02888
 (401) 841-3000 (401) 841-1313 FAX WWW.JCEONLINE.COM

JOSEPH A. CASALI
 No. 7250
 REGISTERED PROFESSIONAL ENGINEER
 05/02/2024

PROPOSED SELF-STORAGE BUILDING
 530-532 WELLINGTON AVENUE
 CRANSTON, RHODE ISLAND
 AP 3, LOT 107

REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED BY: DRD
 DRAWN BY: JAS
 CHECKED BY: JAC/MCG
 DATE: MAY 2024
 PROJECT NO: 24-25

PRELIMINARY, NOT FOR CONSTRUCTION

SITE PLAN



1-800-255-5477
 1000 WEST 10TH AVENUE
 DENVER, CO 80202
 © 2024

That certain lot or parcel of land, with all the buildings and improvements thereon, situated on the southeasterly side of Wellington Avenue and the southwesterly side of Clarence Street, in the City of Cranston, County of Providence and State of Rhode Island and bounded and described as follows: Beginning at the intersection of the southeasterly line of Wellington Avenue and the southwesterly line of Clarence Street, which point is the most northerly corner of the parcel hereby conveyed; Thence running southeasterly along said southwesterly line of Clarence Street, three hundred (300.0) feet to a corner; Thence turning an interior angle of ninety degrees (90°-00') and running southwesterly bounded southeasterly by land of National Railroad Passenger Corp., seven hundred and ninety (790.0) to a granite bound set to a corner; Thence turning an interior angle of ninety degrees (90°-00') and running northwesterly, bounded southeasterly by other land now or formerly of Five Thirty Wellington, Inc., three hundred (300.0) feet to a granite bound set in the said southeasterly line of Wellington Avenue to a corner; Thence turning an interior angle of ninety degrees (90°-00') and running northeasterly along said southeasterly line of Wellington Avenue, seven hundred and ninety (790.0) feet to the first mentioned point and place of beginning, the last course forming an interior angle of ninety degrees (90°-00') with the first course. Property address: 530-532 Wellington Avenue, Cranston, RI 02910 Plat: 3-2 Lot(s): 107

- SCHEDULE B-II ITEMS
1 Sewer Easements recorded in Book 220 at Pages 37 and 38. (AFFECTS, PLOTTED AS SHOWN)
2 Matters cited in deed from The General Tire & Rubber Company to Five Thirty Wellington, Inc. recorded in Book 344 at Page 288. (AFFECTS, BLANKET IN NATURE)
3 City Council Resolution recorded in Council Records Book 17 at Page 386 being Resolution #368. (AFFECTS, CONTAINS NO PLOTTABLE EASEMENT ITEMS)
4 Restrictions, Covenants and Agreements set forth in deeds recorded in Book 261 at Page 431 and in Book 270 at Page 243. (UNABLE TO DETERMINE, ARTHUR STREET REFERENCED WITHIN APPEARS TO BE WEST OF I-95)
5 Fence Agreement recorded in Book 295 at Page 45. (UNABLE TO DETERMINE, PLAT BOOK 2, PAGE 74 REFERENCED WITHIN NOT PROVIDED)
6 Violation recorded in Book 788 at Page 636, as affected by Order recorded in Book 820 at Page 863 and Consent Agreement recorded in Book 829 at Page 855. (AFFECTS, CONTAINS NO PLOTTABLE EASEMENT ITEMS)
7 Zoning Board of Review Decisions recorded in Book 911 at Page 494, Book 2201 at Page 145 and in Book 3345 at Page 204. (AFFECTS, CONTAINS NO PLOTTABLE EASEMENT ITEMS)
8 Terms of Option and Lease Agreement as referenced in Memorandum of Option and Lease Agreement recorded in Book 915 at Page 85; as affected by Easement and Lease Assignment Agreement recorded in Book 3293 at Page 2; as amended by Amendment to Memorandum of Lease recorded in Book 4389 at Page 269. (AFFECTS, PLOTTED AS SHOWN)
9 Lease by and between JIRA Realty and Onsiteplus Communications Enterprises, Inc. dated October 18, 1997 as evidenced by Memorandum/Notice of Lease recorded in Book 1001 at Page 4; as assigned by Assignment recorded in Book 3293 at Page 2. (AFFECTS, PLOTTED AS SHOWN)
10 Easement and Lease Assignment by and between JIRA Realty, Inc. and Union Site Management (R) L.L.C. dated January 23, 2006 and recorded in Book 3293 at Page 2; as affected by Assignment of Easement to Call Tower Lease Acquisition, L.L.C. recorded in Book 3293 at Page 19 and as affected by Assignment and Assumption Agreement recorded in Book 5302 at Page 54. (AFFECTS, PLOTTED AS SHOWN)
11 Bill of Sale recorded in Book 3293 at Page 16. (AFFECTS, APPARENT LOCATION PLOTTED AS SHOWN)
12 Grant of Easement from JIRA Realty Inc. to The Narragansett Electric Company and Verizon New England Inc. dated January 16, 2008 in Book 3294 at Page 60. (UNABLE TO DETERMINE, POLE #39 REFERENCED WITHIN NOT LOCATED)
13 Matters set forth on RI Condemnation Plat 1241 and Ross 531 for the layout of I-95. (DOES NOT AFFECT, EFFECTS LIE WEST OF THE SUBJECT PROPERTY IN THE I-95 RIGHT-OF-WAY)

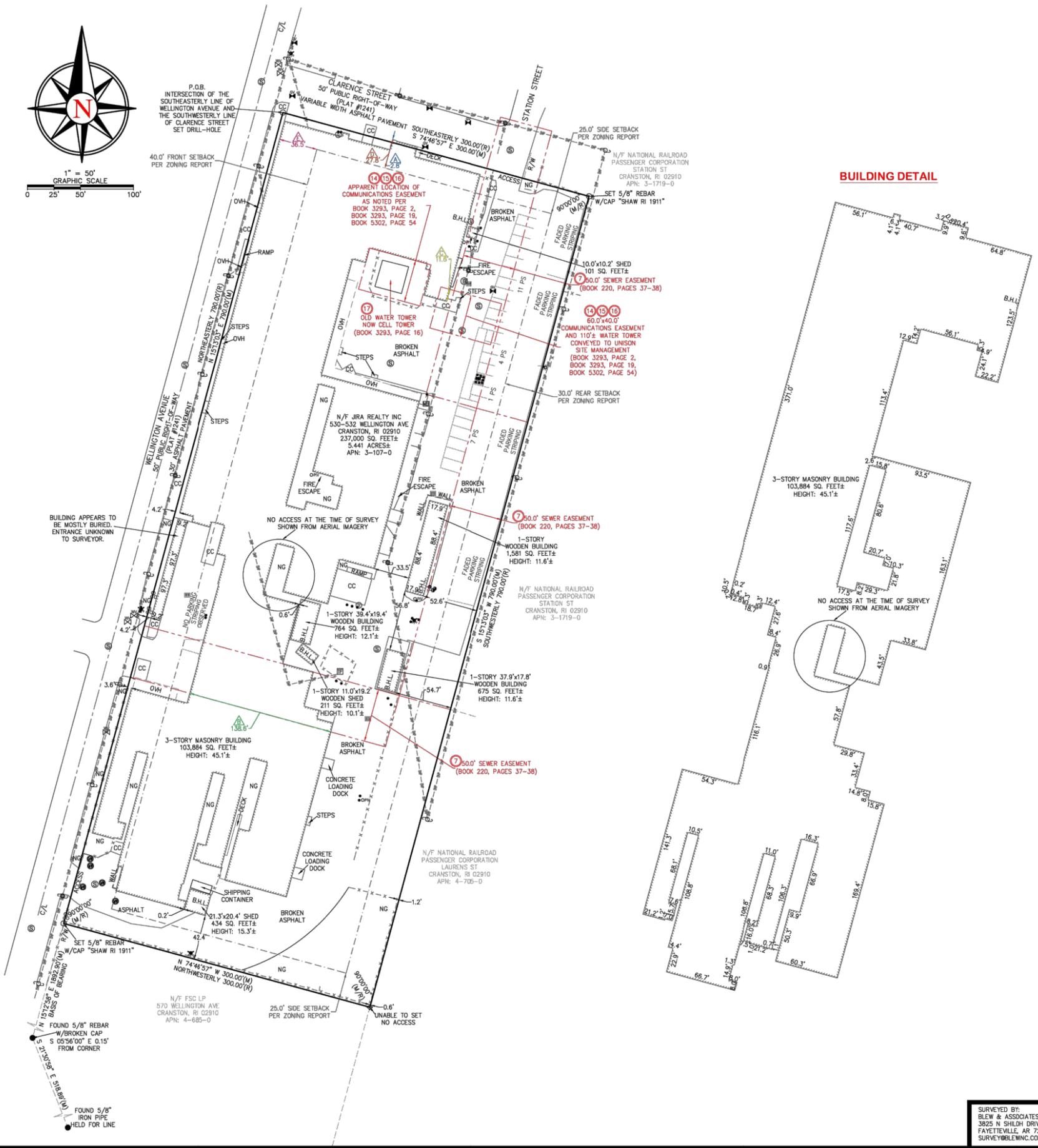


VICINITY MAP showing the property location relative to surrounding streets like Wellington Ave and Clarence St. LAND AREA: 237,000 SQUARE FEET±, 5.441 ACRES±. PARKING SPACES: REGULAR= 23, HANDICAP= 0, TOTAL= 23.

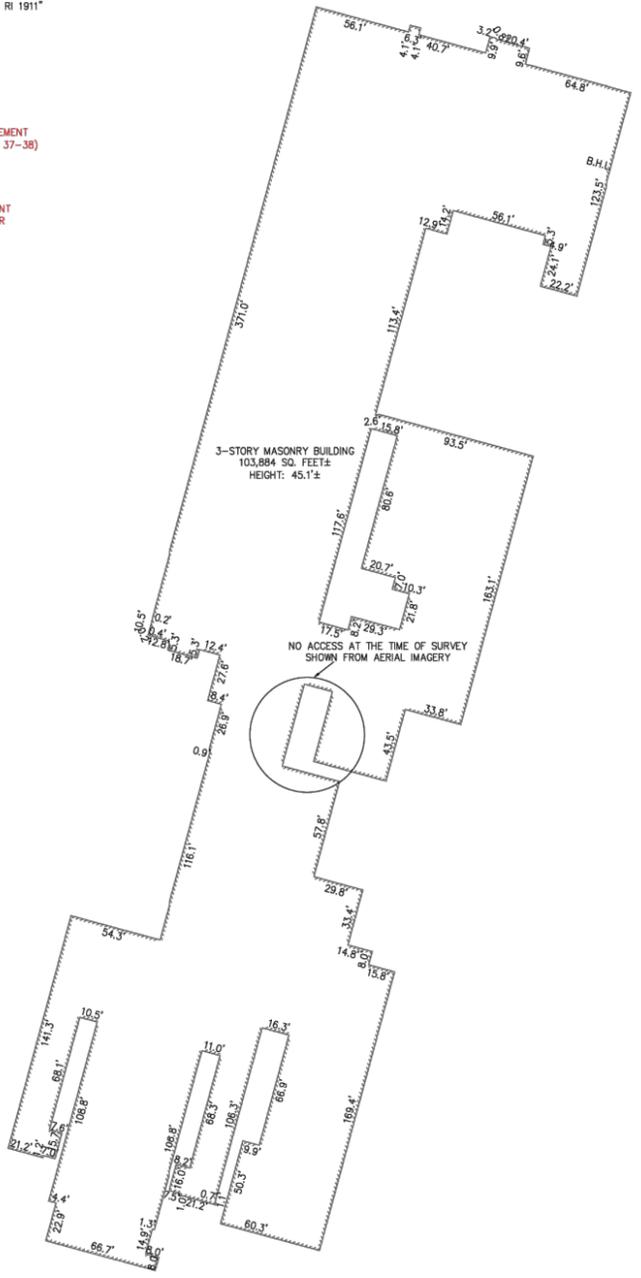
ZONING DATA table with columns for ZONING ITEM, REQUIRED, and PARKING REQUIREMENTS. Includes details for M2-GENERAL INDUSTRIAL DISTRICT, permitted uses, and setbacks.

- SIGNIFICANT OBSERVATIONS
BUILDING APPEARS TO CROSS PROPERTY LINE BY AS MUCH AS 2.8'.
BUILDING APPEARS TO CROSS SEWER EASEMENT DESCRIBED IN BOOK 220, PAGES 37-38 BY AS MUCH AS 138.6'.
BUILDING APPEARS TO CROSS COMMUNICATIONS EASEMENT DESCRIBED IN BOOK 3293, PAGE 2 BY AS MUCH AS 11.8'.
BUILDING APPEARS TO CROSS SIDE SETBACK LINE BY AS MUCH AS 27.6'.
BUILDING APPEARS TO CROSS FRONT SETBACK LINE BY AS MUCH AS 38.5'.

- LEGEND
FOUND MONUMENT AS NOTED
SET MONUMENT AS NOTED
COMPUTED POINT
MEASURED/CALCULATED DIMENSION
RECORD DIMENSION
NOW OR FORMERLY
RIGHT-OF-WAY
CENTERLINE OF RIGHT-OF-WAY
POINT OF BEGINNING
BUILDING HEIGHT LOCATION
SQUARE FEET
LIGHT POLE
BOLLARD
SIGN
MAILBOX
OVERHANG
NATURAL GROUND
CONCRETE
PARKING SPACE(S)
HANDICAP PARKING SPACE
FIRE HYDRANT
WATER VALVE
POST INDICATOR VALVE
MONITORING WELL
GAS VALVE
GAS METER
GRATED INLET
STORM MANHOLE
SANITARY MANHOLE
CLEANOUT
UTILITY POLE
GUY ANCHOR
PROPERTY LINE
OVERHEAD POWER LINE
FENCE LINE
EASEMENT
RIGHT-OF-WAY
CENTERLINE OF ROAD
NO PARKING AREA



BUILDING DETAIL



FLOOD NOTE: BASED ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AVAILABLE ONLINE AT WWW.MSC.FEMA.GOV, AND BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE 'X' ON FLOOD INSURANCE RATE MAP NUMBER 440703018H, WHICH BEARS AN EFFECTIVE DATE OF 10/02/2015 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA...

TITLE COMMITMENT INFORMATION
THE PROPERTY HEREON DESCRIBED IS THE SAME AS THE PERTINENT PROPERTY AS DESCRIBED IN CHICAGO TITLE INSURANCE COMPANY, COMMITMENT FILE NO.: 23R100075 (10988070), WITH A COMMITMENT DATE OF FEBRUARY 24, 2023 AT 8:00 AM.

- GENERAL SURVEY NOTES
1. ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARKING, EASEMENTS, SERVITUDES, AND SIGNIFICANT OBSERVATIONS ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
2. THIS DRAWING MEETS OR EXCEEDS THE SURVEYING STANDARDS AND STANDARDS OF CARE AS SET FORTH IN SECTION 3 OF THE 2021 ALTA/NSPS SURVEYING REQUIREMENTS.
3. AT THE TIME OF SURVEY, THERE WAS NO RECORD OR OBSERVED EVIDENCE OF A CEMETERY, BURIAL GROUNDS OR LOCATION OF ISOLATED GRAVESTONES.
4. THE BASIS OF BEARING FOR THIS SURVEY IS GRID NORTH PER RHODE ISLAND STATE PLANE COORDINATE SYSTEM, NAD83-2011, AS MEASURED ALONG THE EASTERLY RIGHT-OF-WAY LINE OF WELLINGTON AVENUE, WHICH BEARS N 15°12'58" E PER GPS COORDINATE OBSERVATIONS LATITUDE: 41°46'23.3873" LONGITUDE: -71°25'33.5564" CONVERGENCE ANGLE: 0°02'57.5003"
5. THE SUBJECT PROPERTY SHOWN HEREON FORMS A MATHEMATICALLY CLOSED FIGURE AND IS CONTIGUOUS WITH THE ADJOINING PUBLIC RIGHT-OF-WAY AND/OR ADJOINING PARCELS WITH NO GAPS OR OVERLAPS.
6. THE SUBJECT PROPERTY HAS DIRECT PHYSICAL ACCESS TO WELLINGTON AVENUE AND CLARENCE STREET, BOTH BEING A DEDICATED PUBLIC RIGHT-OF-WAY.
7. AT THE TIME OF THE FIELD WORK, THERE WAS NO OBSERVABLE EVIDENCE OF SUBSTANTIAL AREAS OF REFUSE.
8. AT THE TIME OF THE FIELD WORK, OWNERSHIP OF FENCING SHOWN HEREON WAS UNKNOWN TO THIS SURVEYOR.
9. CONCERNING TABLE "A" ITEM 2, THE ADDRESS ON SITE WAS 530 WELLINGTON AVENUE PER RECORD DOCUMENTS.
10. CONCERNING TABLE "A" ITEM 7(A), THE BUILDING AREA SHOWN HEREON IS FOR THE FOOTPRINT OF THE BUILDING ONLY AT GROUND LEVEL.
11. CONCERNING TABLE "A" ITEM 14, THE NEAREST INTERSECTION OF STREETS IS THAT OF WELLINGTON AVENUE & CLARENCE STREET LOCATED ABUTTING THE NORTHWEST CORNER OF THE SUBJECT PROPERTY.
12. CONCERNING TABLE "A" ITEM 16, THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
13. CONCERNING TABLE "A" ITEM 17, AT THE TIME OF THE ALTA SURVEY THERE WERE NO CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION & THERE WAS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION REPAIRS.
14. THE DISTANCES SHOWN HEREON ARE UNITS OF GROUND MEASUREMENT.
15. THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES ONLY. THE SURVEYOR WAS NOT PROVIDED WITH UNDERGROUND PLANS OR SURFACE GROUND MARKINGS TO DETERMINE THE LOCATION OF ANY SUBTERRANEAN USES.

ALTA/NSPS LAND TITLE SURVEY
CRANSTON INDUSTRIAL
530-532 WELLINGTON AVENUE
PROVIDENCE COUNTY CRANSTON, RHODE ISLAND 02910

SURVEYOR'S CERTIFICATE
TO: CHICAGO TITLE INSURANCE COMPANY; and GRS GROUP on NV5 COMPANY
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 6B, 7A, 7B, 7C, 8, 9, 13, 14, 16, 17, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 04/10/2023. DATE OF PLAT OR MAP: 04/14/2023.

HOLLAND E. SHAW
No. 1911
PROFESSIONAL LAND SURVEYOR
DATED: 07/31/2023

HOLLAND E. SHAW, PLS, NO. 1911
COA NO. 769
435-RICR-00-001.9, LIMITED CONTENT, CLASS 1,
2021 ALTA/NSPS LAND TITLE SURVEY
DATED 2023 - USE OF THIS DOCUMENT'S FORMAT IS PROHIBITED AND CONTINGENT UPON THE WRITTEN CONSENT & PERMISSION BY GRS GROUP AN NV5 COMPANY

