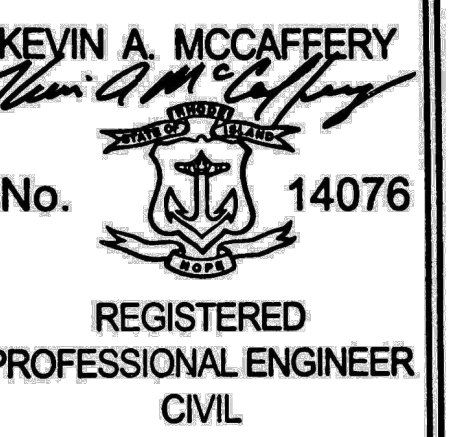




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SEAL

NOTES: ---

ISSUE DATE:

6/12/2024

PERMITTING SET

REVISIONS:

DATE

DESCRIPTION

FOR ALL ABBREVIATIONS, SYMBOLS LEGENDS,
AND GENERAL NOTES SEE SHEET C-000

KEY PLAN

SCALE: AS NOTED



NEW INDUSTRIAL
MANUFACTURING AND
WAREHOUSING FACILITY
FOR TACO
COMFORT SOLUTIONS, INC.
35 CARLSBAD STREET, CRANSTON, RI 02920

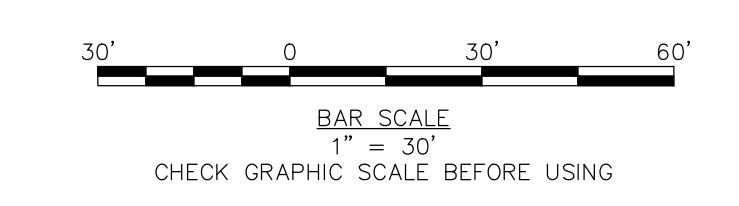
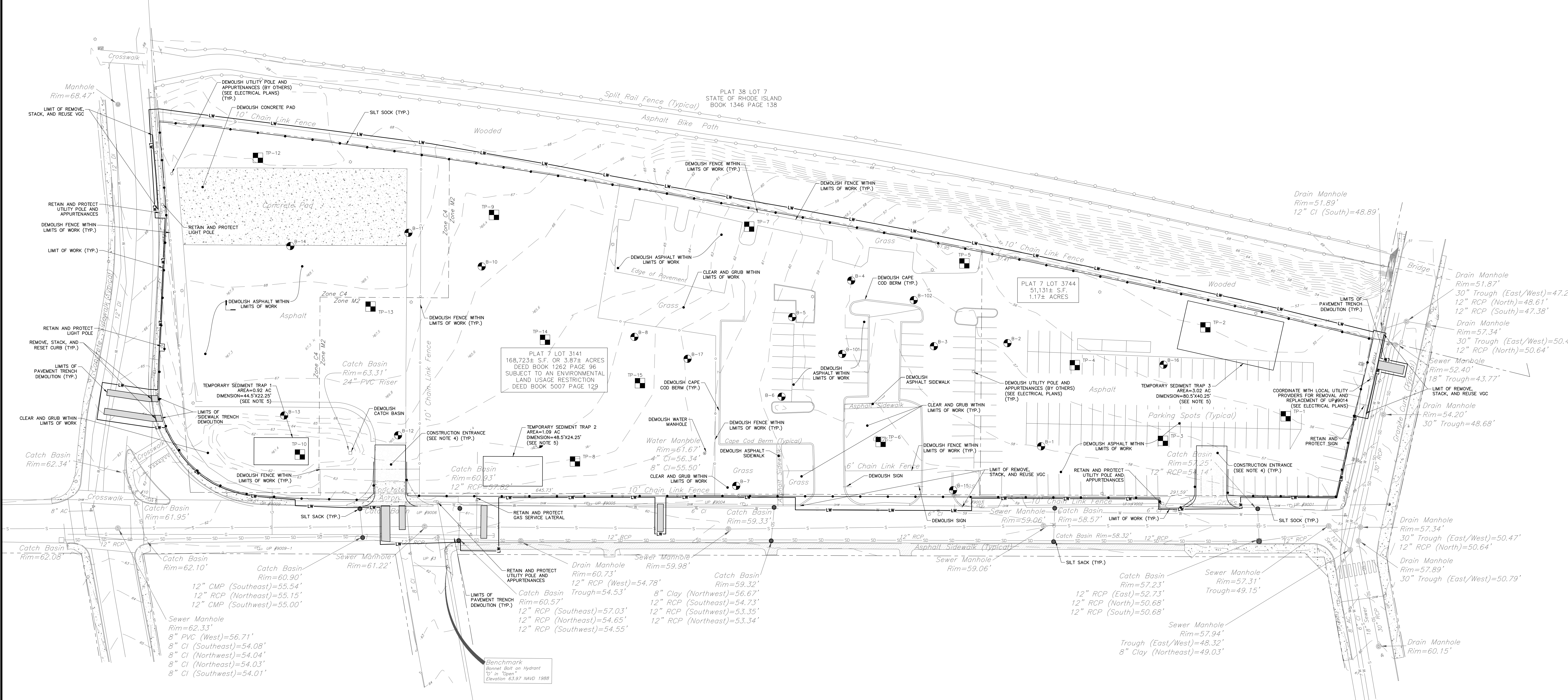
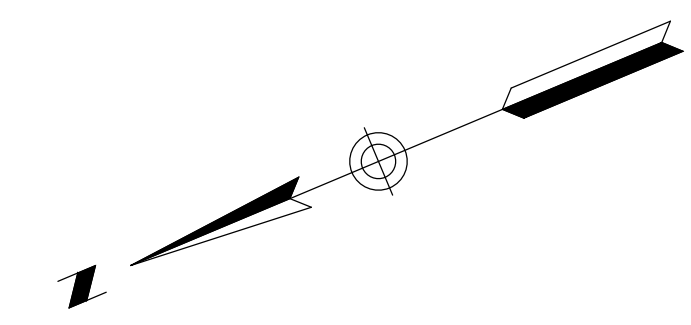
PROJECT NUMBER: 2022-077

DRAWN BY: KCC

REVIEWED BY: CG

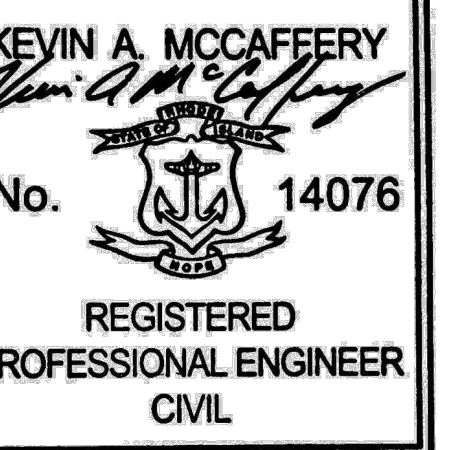
SITE PREPARATION
AND EROSION
CONTROL PLAN
C-100

DRAWING #:





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DATE DESCRIPTION

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AND GENERAL NOTES SEE SHEET C-000

KEY PLAN

SCALE: AS NOTED
PLAN NORTH
TRUE NORTH

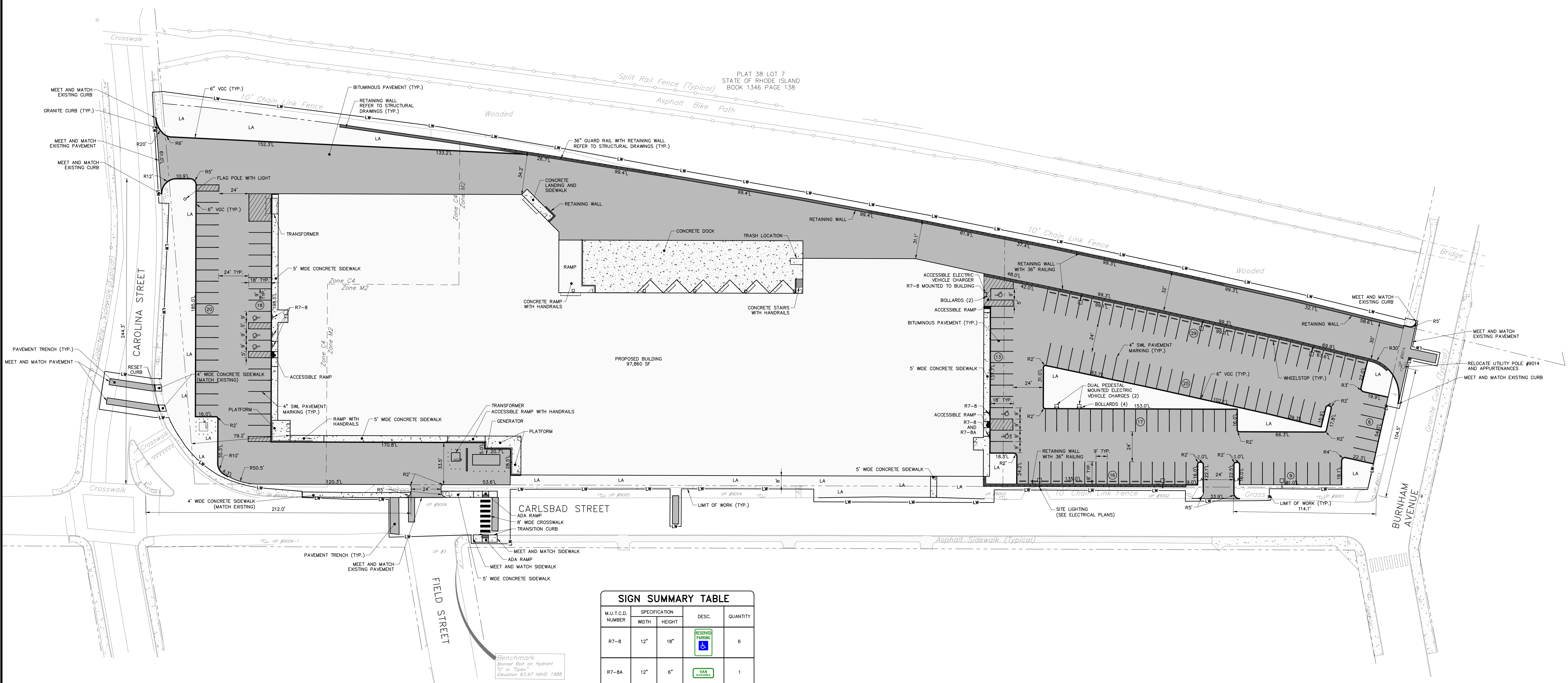
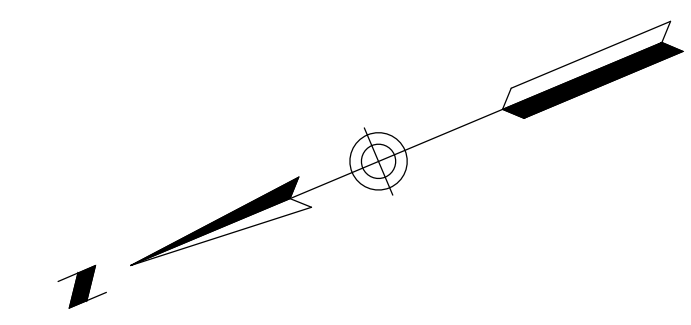
NEW INDUSTRIAL
MANUFACTURING AND
WAREHOUSING FACILITY
FOR TACO
COMFORT SOLUTIONS, INC.
35 CARLSBAD STREET, CRANSTON, RI 02920

PROJECT NUMBER: 2022-077
DRAWN BY: KCC
REVIEWED BY: CG

LAYOUT AND
MATERIALS PLAN

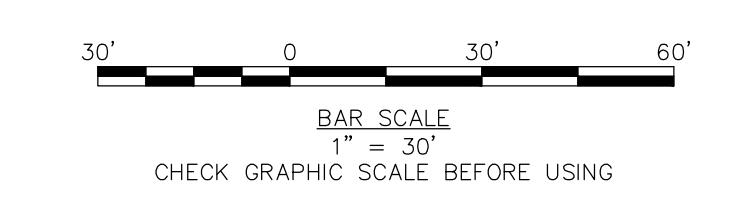
C-200

DRAWING #:



SIGN SUMMARY TABLE					
M.U.T.C.D. NUMBER	SPECIFICATION	DESC.	WIDTH	HEIGHT	QUANTITY
R7-B	12"	18"			6
R7-BA	12"	6"			1

- NOTES:
- TOTAL NUMBER OF PARKING SPACES IS 153.
 - PAVEMENT MARKINGS SHALL BE ACRYLIC WATERBORNE TRAFFIC PAINT.
 - REFER TO STRUCTURAL DRAWINGS FOR DETAILS OF SITE RETAINING WALLS.
 - REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS OF LOADING DOCK, CONCRETE RAMP WITH HANDRAILS, CONCRETE LANDING AND SIDEWALK, STAIRS, AND PLATFORMS.





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KEY PLAN

SCALE: AS NOTED

PLAN NORTH

TRUE NORTH

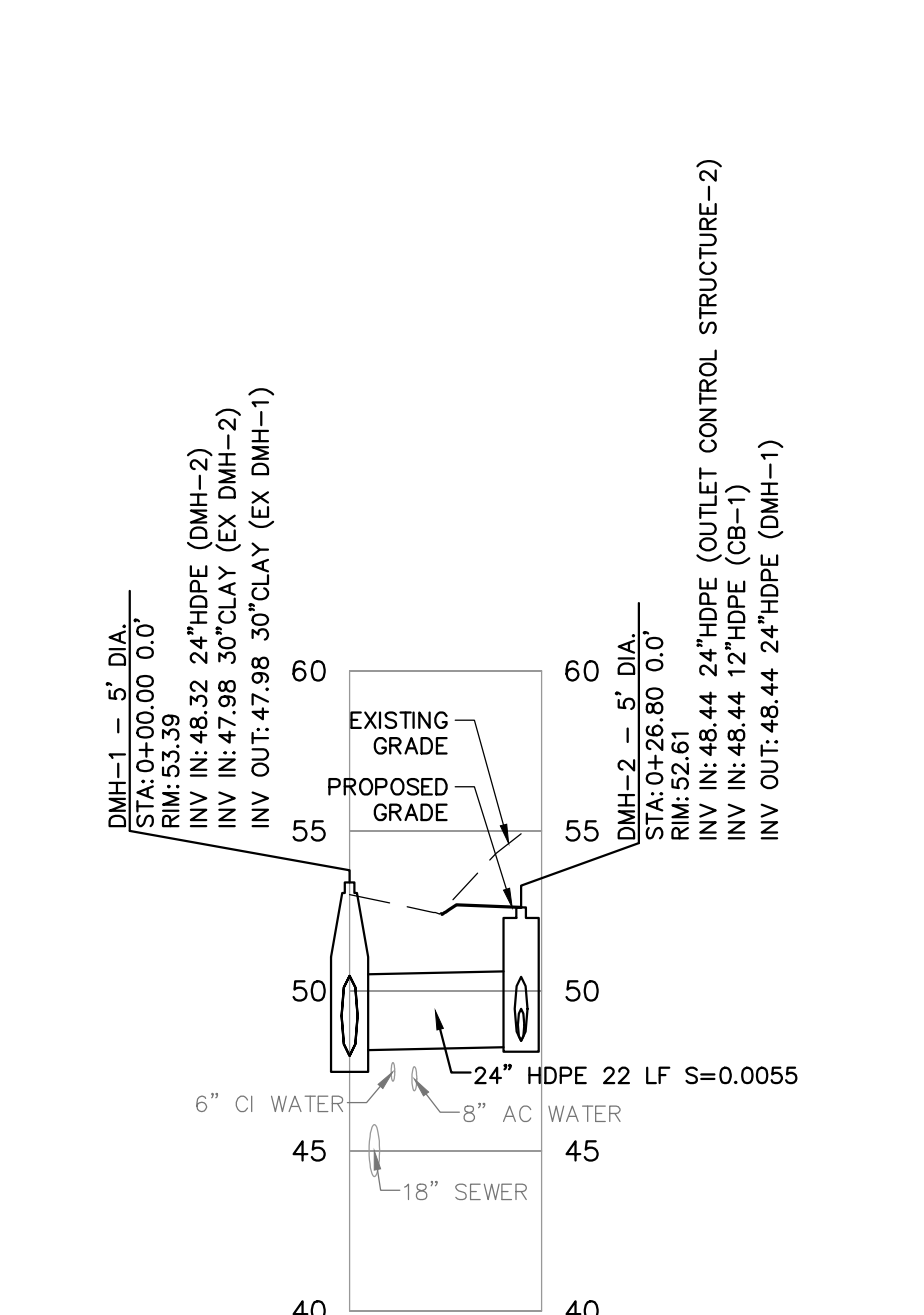
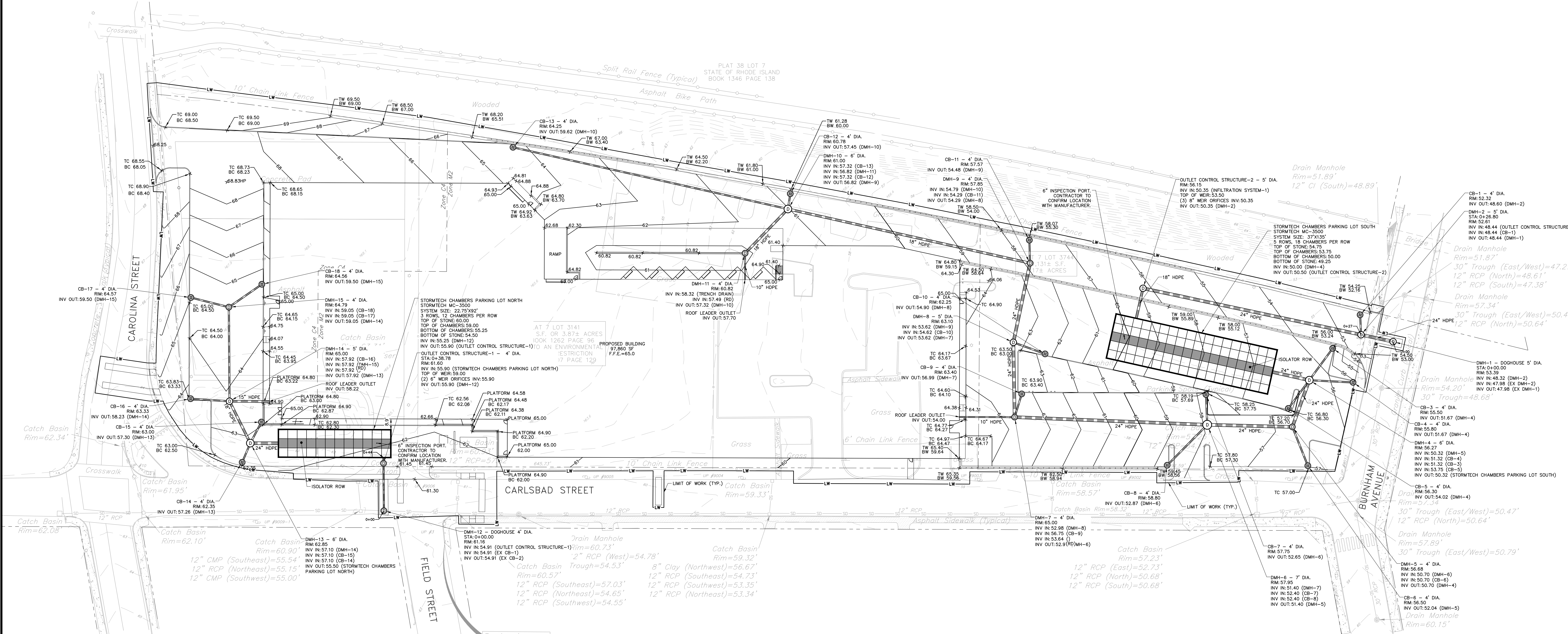
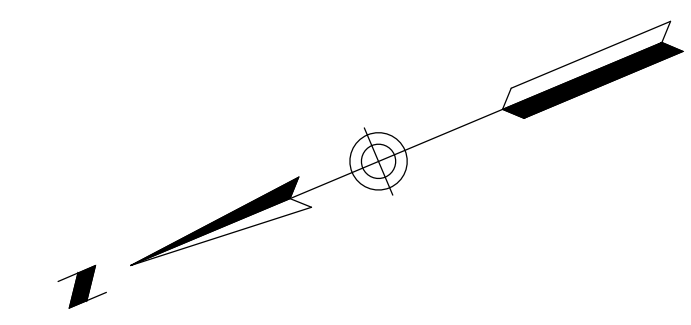


NEW INDUSTRIAL MANUFACTURING AND WAREHOUSING FACILITY FOR TACO COMFORT SOLUTIONS, INC.
 35 CARLSBAD STREET, CRANSTON, RI 02920
 PROJECT NUMBER: 2022-077

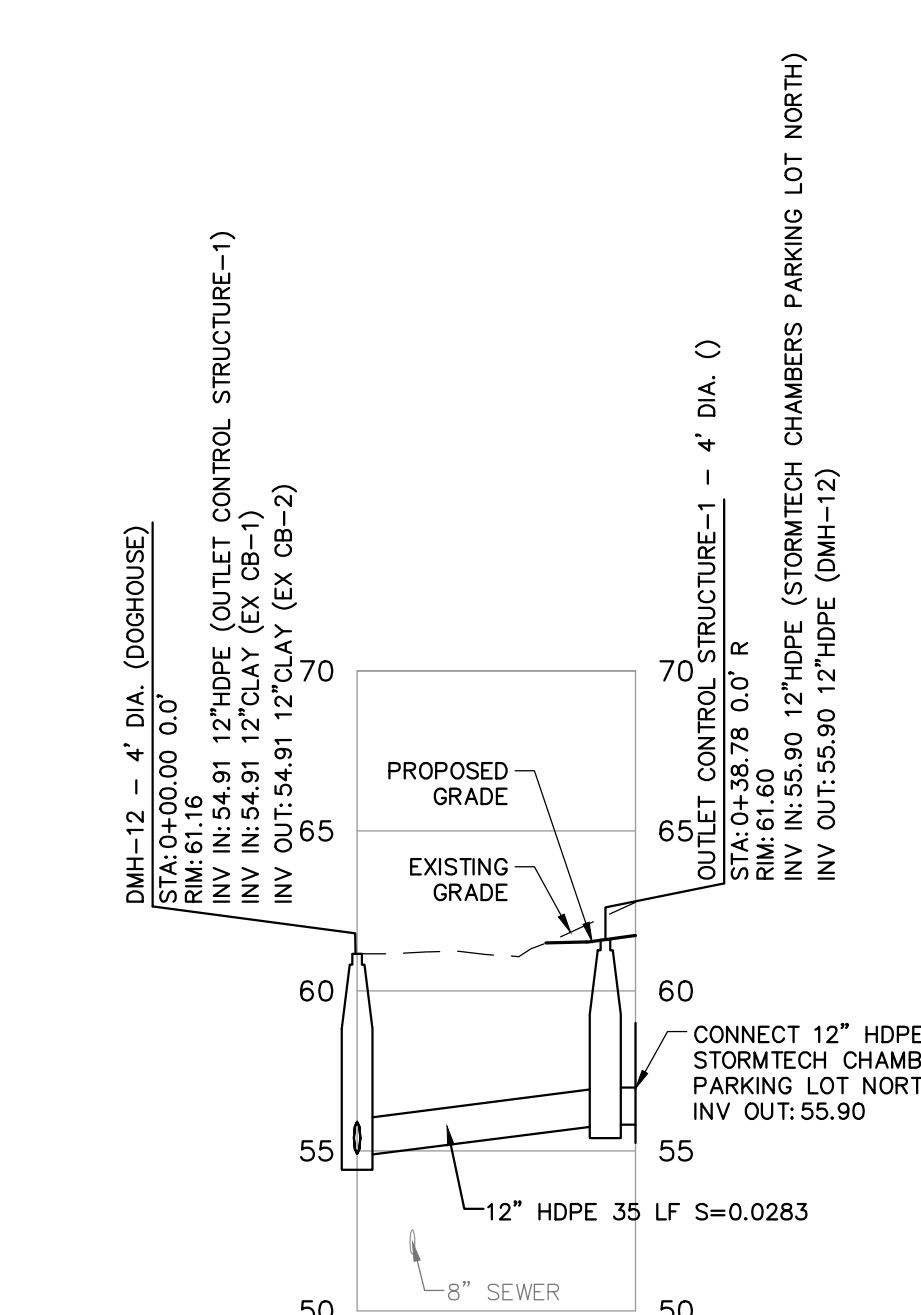
DRAWN BY: KCC
 REVIEWED BY: CG

GRADING AND DRAINAGE PLAN

DRAWING #: C-300

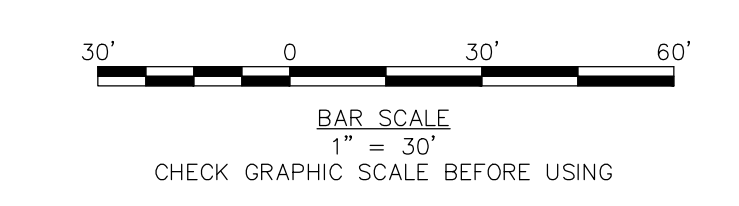


BURNHAM AVE DRAINAGE—PROFILE STA. 0+00 TO STA. 0+30



CARLSBAD DRAINAGE—PROFILE STA. 0+00 TO STA. 0+44

- NOTES:
- CONTRACTOR TO FIELD VERIFY EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS BETWEEN PROPOSED AND EXISTING UTILITIES.
 - ALL STORM DRAIN PIPES SHALL BE 12" HDPE UNLESS NOTED OTHERWISE.



CHECK GRAPHIC SCALE BEFORE USING

SEAL
 NOTES: ---

ISSUE DATE: 6/12/2024 PERMITTING SET

REVISIONS: DATE DESCRIPTION

FOR ALL ABBREVIATIONS, SYMBOLS LEGENDS, AND GENERAL NOTES SEE SHEET C-000

KEY PLAN

SCALE: AS NOTED PLAN NORTH TRUE NORTH



NEW INDUSTRIAL MANUFACTURING AND WAREHOUSING FACILITY FOR TACO COMFORT SOLUTIONS, INC.
 35 CARLSBAD STREET, CRANSTON, RI 02920
 PROJECT NUMBER: 2022-077

DRAWN BY: KCC
 REVIEWED BY: CG
UTILITY PLAN

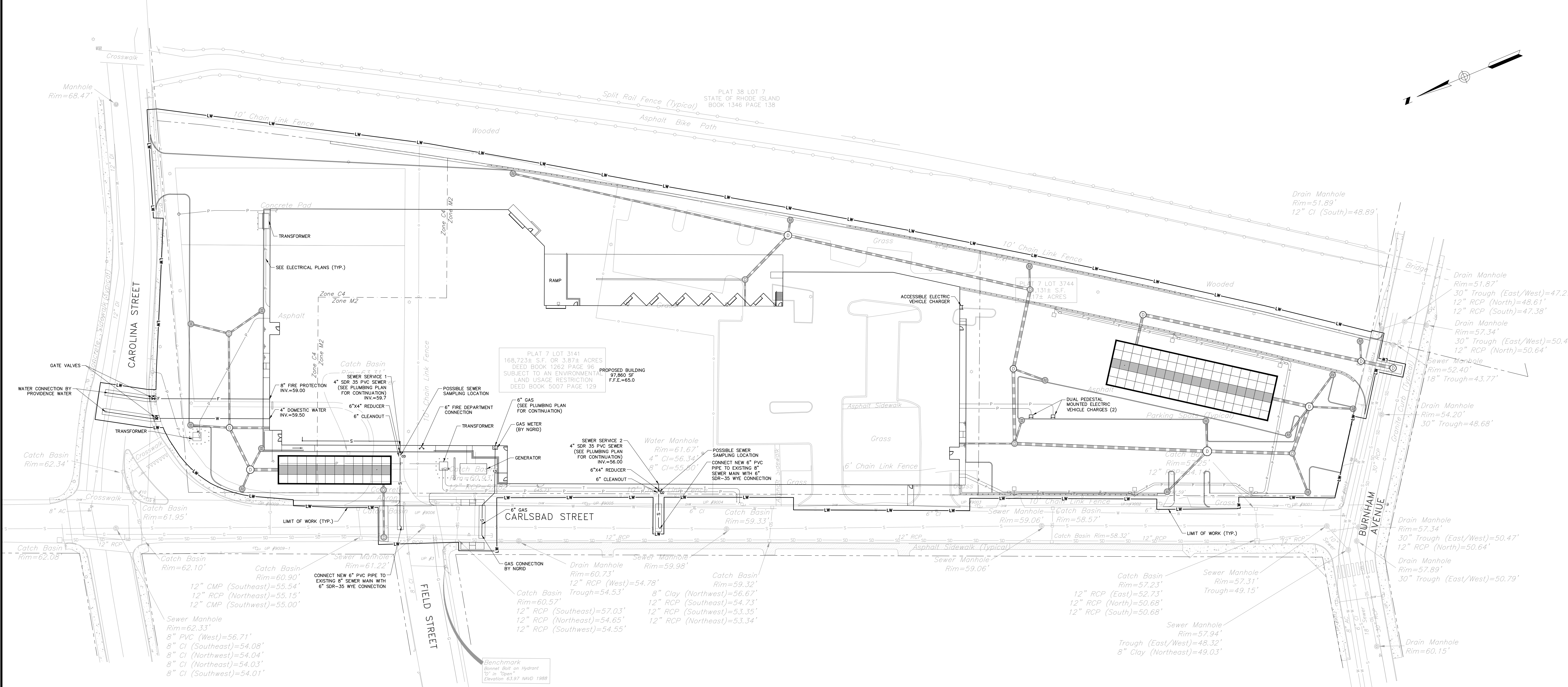
DRAWING #: **C-400**

SEWER MAIN CONSTRUCTION NOTES:

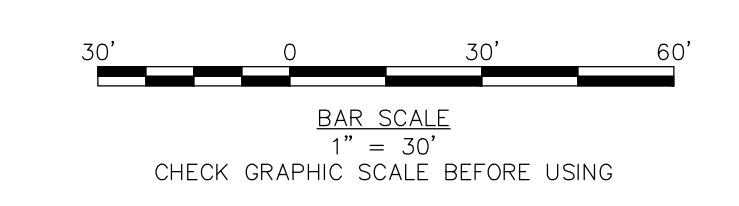
- FOR GENERAL SPECIFICATIONS REGARDING ALL CONSTRUCTION AS WELL AS THE SANITARY SEWERS THE CONTRACTOR SHALL REFER TO THE CITY OF CRANSTON CITY CODE, CHAPTER 26, SEWERS, SPECIFICATIONS FOR HIGHWAYS COVERING RESIDENTIAL, AND INDUSTRIAL PLAT DEVELOPMENTS, AND OTHER CITY OF CRANSTON DEPARTMENT OF PUBLIC WORKS GUIDELINES, RULES, REGULATIONS AND OTHER APPLICABLE LAWS, INCLUDING ANNEX A-SECTION OF SEWERS (PROBULGATED 8/15/03) REGARDING SANITARY SEWER CONSTRUCTION. THE CONTRACTOR SHALL SPECIFICALLY REFERENCE THE TECHNICAL RELEASE #16 GUIDE FOR THE DESIGN OF WASTEWATER TREATMENT WORKS (PUBLISHED BY THE N.E. INTERSTATE WATER POLLUTION CONTROL COMMISSION).
- PRIVATE SEWERS AND SEWER EXTENSION INTO ADJACENT COMMUNITIES WHICH CONNECT TO THE CITY SEWER SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH THE CITY SEWER USE ORDINANCE AND THESE REGULATIONS UNLESS OTHERWISE APPROVED BY THE CITY PUBLIC WORKS DIRECTOR.
- ALL SANITARY SEWER CONSTRUCTION SHALL BE INSPECTED BY THE VEDIA WATER NORTH AMERICA COLLECTIONS SYSTEM DEPARTMENT (VEDIA-CRANSTON MPC).
- NO PERSON SHALL MAKE A CONNECTION OF ROOF DOWNSPOUTS, FLOOR DRAINS, SUMP PUMPS, EXTERIOR FOUNDATION DRAINS, AREAWAY DRAINS, OR OTHER SOURCES OF SURFACE RUNOFF OR GROUNDWATER TO ANY COMPONENT OF THE SANITARY SEWER SYSTEM.
- ALL SANITARY SEWER CONNECTIONS SHALL BE MADE GAS TIGHT.
- THE MINIMUM COVER SHALL BE FOUR (4) FEET OVER THE CROWN OF THE PIPE FOR ALL MAINS AND LATERALS EXCEPT THAT INSULATION MAY BE PROVIDED FOR SEWERS THAT CANNOT BE PLACED AT A DEPTH SUFFICIENT TO PREVENT FREEZING UPON THE APPROVAL OF THE PUBLIC WORKS DIRECTOR.
- SEWER LATERALS SHALL BE 6" PVC SCHEDULE 35 AND BE INSTALLED AT THE MINIMUM SLOPE OF AT LEAST ONE-QUARTER INCH PER FOOT (2.1 CM/M). ALL PIPES SHALL HAVE COMPRESSION JOINTS.
- WHERE SEWER LATERALS CONNECT TO A SEWER MAIN A WYE SHALL BE INSTALLED IN THE MAIN TO MAKE THE CONNECTION. A 6" SDR-35 ANGLE NOT GREATER THAN 45°, IS TO BE USED TO PROVIDE THE PROPER FLOW ALIGNMENT.
- NO LATERAL MAY SERVICE MORE THAN ONE BUILDING OR PRIVATELY OWNED BUILDING UNITS.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. SEWERS OR CHANGES WILL NOT BE ALLOWED UNLESS APPROVED BY THE CITY PUBLIC WORKS DIRECTOR.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

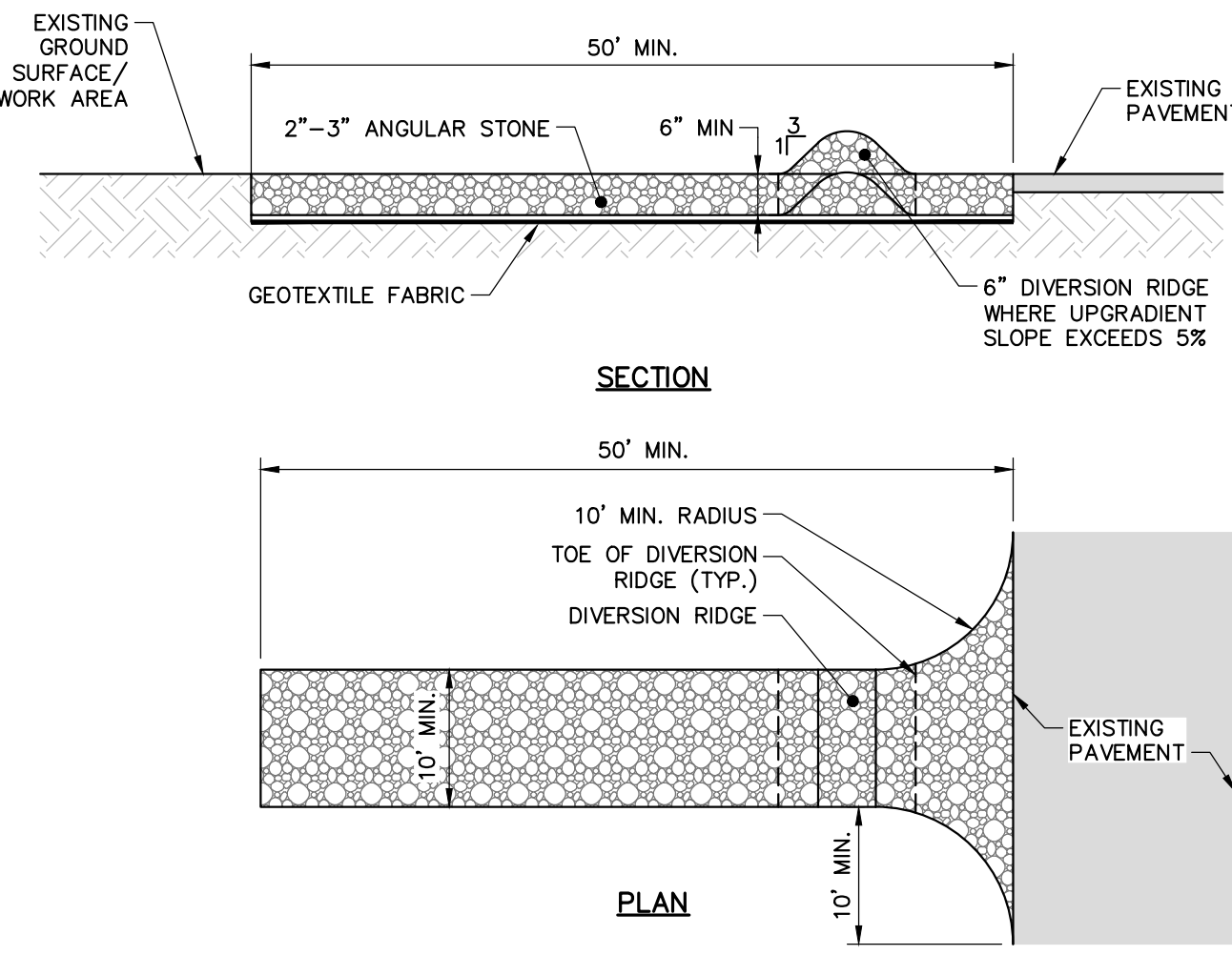
SEWER MAIN ORDER OF PROCEDURE:

- THE CONTRACTOR THAT WAS APPROVED SHALL NOTIFY VEDIA WATER OF NORTH AMERICA COLLECTIONS SYSTEMS DEPARTMENT AND THE DIRECTOR OF PUBLIC WORKS FIVE (5) WORKING DAYS PRIOR TO COMMENCING ANY SEWER RELATED EXCAVATION. THE CONTRACTOR SHALL PROVIDE THE FOLLOWING INFORMATION: COMPANY NAME, PHONE NUMBER AND ADDRESS OF BOTH THE DEVELOPER AND CONTRACTOR ALONG WITH THE NAME AND PHONE NUMBER OF THE SEWER CONTRACTOR'S FOREMAN.
- VEDIA WATER SHALL INSPECT THE NEW PLAT CONSTRUCTION CONSISTING OF EXCAVATION, LAYING OF SEWER MAINS AND STREET LATERALS, INSTALLATION OF MANHOLES, AND BACKFILLING TO THE ELEVATION OF THE EXISTING GROUND. CAMERA INSPECTION AND PRESSURE TESTING AND SHALL PERFORM THE FLOW TEST. THE CONTRACTOR AT HIS CHOICE AND EXPENSE HAS THE OPTION OF USING A PRIVATE CONTRACTOR OF HIRING VEDIA WATER TO CAMERA AND VIDEOAPE THE SEWER SYSTEM. IF THE CONTRACTOR CHOOSES TO USE A PRIVATE CAMERA CONTRACTOR TO VIDEOAPE THE SEWER SYSTEM AN INSPECTOR FROM VEDIA WATER SHALL BE PRESENT FOR THE VIDEOAPEING.
- AFTER THE SEWER SYSTEM HAS BEEN INSTALLED THE CONTRACTOR SHALL HAVE THE ENTIRE MANHOLES VACUUM TESTED: TEN (10) INCHES OF VACUUM FOR SIXTY (60) SECONDS. AND THEN THE GRAVITY SEWER PIPES SHALL BE TESTED FOR FIVE (5) LBS OF PRESSURE FOR TEN (10) MINUTES. VEDIA'S INSPECTOR SHALL BE PRESENT FOR ALL TESTING OF MANHOLES AND PIPES.
- AFTER THE TESTING OF THE MANHOLES AND PIPES THE CONTRACTOR SHALL HAVE THE ENTIRE SEWER SYSTEM FLUSHED AND CLEANED.
- NEXT THE SYSTEM SHALL BE CAMERA INSPECTED AND VIDEOAPEING.
- VEDIA WATER SHALL REVIEW THE VIDEOAPEING AND WRITE A PUNCH LIST OF ALL OR ANY ITEMS THAT REQUIRE ATTENTION.
- AS A CONDITION OF THE FINAL ACCEPTANCE OF THE SANITARY SEWER SYSTEM, THE CONTRACTOR SHALL FORMALLY REQUEST, THROUGH THE CITY ENGINEERING DIVISION, A FINAL INSPECTION BY VEDIA.
- BEFORE FINAL APPROVAL OF THE SEWER SYSTEM CAN BE GRANTED AND CERTIFICATES OF OCCUPANCY ARE ISSUED, THE CONTRACTOR SHALL SUBMIT TO VEDIA TWO (2) SETS OF SEWER AS-BUILT PLANS WITH OS COORDINATES FOR EACH MANHOLE. THE AS-BUILTS SHALL BE ON "COPY-TO-TEXT" MEDIA AND IN COMPUTER DWF OR AUTOCAD R14 OR AUTOCAD LT 2002 VERSION FILE FORMAT AND MEET THE FOLLOWING CRITERIA:
 - ALL RECORD PLANS ARE REQUIRED TO BE THE UNIFORM SIZE OF 20" x 40".
 - SCALE FOR THE PLANS: HORIZONTAL 1"=40' AND VERTICAL 1"=10'.
 - STATION FIGURES ARE TO BE SHOWN ON ALL MANHOLES.
 - DISTANCES OF LATERALS ARE TO BE SHOWN WITH DEPTHS OF THE END OF THE PIPE AT THE STREET LINE.
 - TESTS TO THE WYE CONNECTIONS, MANHOLES, AND ENDS OF LATERALS ARE TO BE SHOWN FOR PERMANENT STRUCTURES.
 - LEDES AND SELECT MATERIALS ARE TO BE SHOWN ON THE PROFILE.
 - SLOPE, SIZE, LENGTH, AND TYPE OF PIPE ARE TO BE SHOWN ON THE PROFILE.
 - ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION ARE TO BE SHOWN ON THE PROFILE.
 - SEWER RECORD AND STORM DRAIN PLANS ARE TO BE DRAWN SEPARATELY.
 - THE RECORD PLAN SHALL BE DRAWN SO THAT THE NORTH DIRECTION IS POINTING IN THE UPPER QUADRANT AND ID TABLE NEEDS TO BE PROVIDED ON THE PLANS.
 - THE X AND Y COORDINATES SHALL BE THE NAD 83 STATE PLANE FEET COORDINATES.
 - ELEVATIONS SHALL BE BASED ON THE CITY OF CRANSTON'S MEAN HIGH WATER (MHW) DATA FOR THE VERTICAL COORDINATES.
- FINAL APPROVAL AND ISSUANCE OF THE CERTIFICATES OF OCCUPANCY ARE CONTINGENT UPON THE OWNER/DEVELOPER'S SUBMISSION OF AN ACCEPTABLE, PERPETUAL OPERATION AND MAINTENANCE PLAN TO THE CITY AND VEDIA FOR THE PRIVATE SEWAGE SYSTEM.



- NOTES:**
- LOCATION OF EXISTING GAS STUB CONNECTION TAKEN FROM CITY OF CRANSTON GAS RECORD PLANS. CONTRACTOR TO ASSESS CONDITION OF EXISTING STUB AND NOTIFY ENGINEER OF CONDITION.
 - CONTRACTOR TO FIELD VERIFY EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS BETWEEN PROPOSED AND EXISTING UTILITIES.
 - DOMESTIC WATER AND FIRE SERVICES TO BE ZINC LINED DI PIPE WITH PUSH-ON JOINTS.
 - SEE ELECTRICAL PLANS FOR SITE ELECTRICAL.
 - SEE PLUMBING PLANS FOR SEWER, GAS AND DOMESTIC WATER CONTINUATIONS.
 - SEE FIRE PROTECTION PLANS FOR FIRE PROTECTION CONTINUATION.

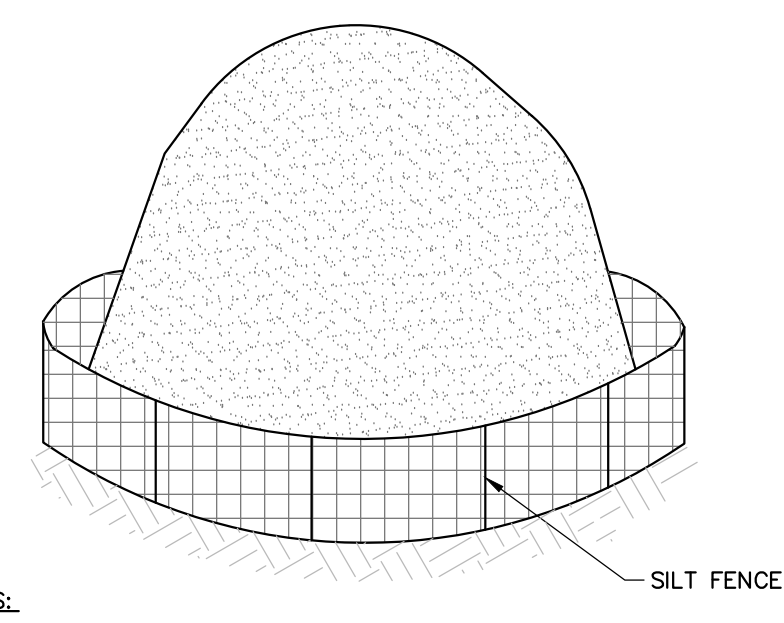




NOTES:

- GRADE TOWARDS SEDIMENT BARRIER WHEN NECESSARY TO MANAGE FLOW.
- INCREASE MINIMUM LENGTH TO 100' WHERE TRACKED SEEDMENTS CONTAIN LESS THAN 90% SAND OR AS NECESSARY FOR HEAVY CONSTRUCTION.

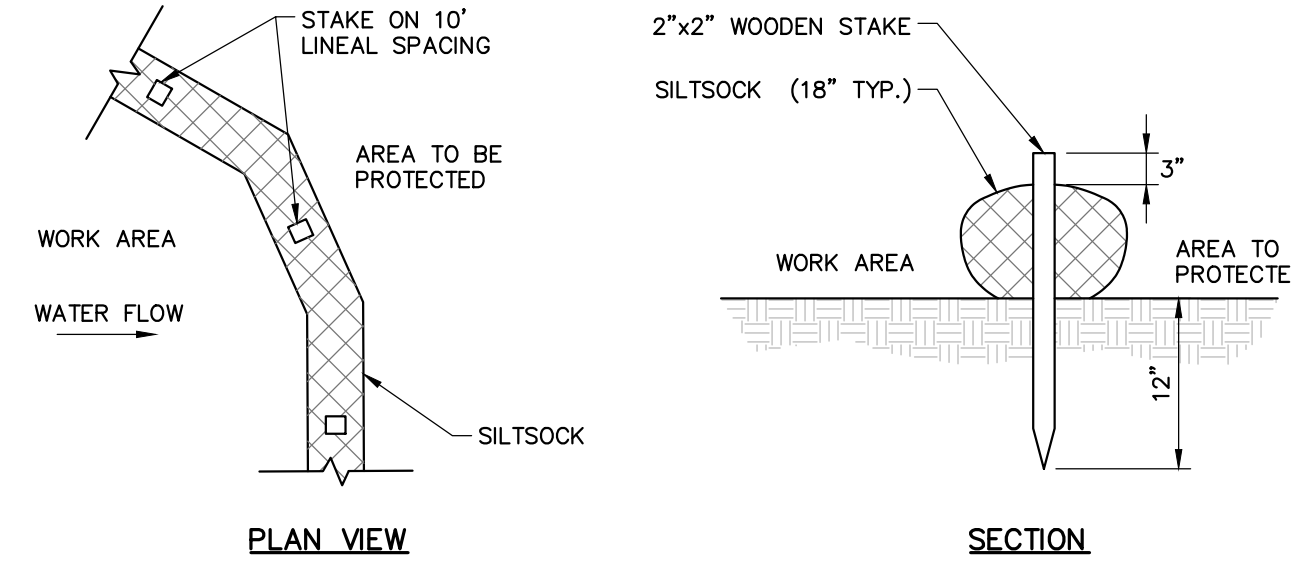
STABILIZED CONSTRUCTION ENTRANCE/EXIT
NOT TO SCALE



NOTES:

- STOCKPILES SHALL BE SURROUNDED BY SILT FENCE.
- STOCKPILES SHALL HAVE A MAXIMUM 2:1 (H:V) SIDE SLOPE.
- REPAIR OR REPLACE DAMAGED SILT FENCE DUE TO CONSTRUCTION ACTIVITIES OR STOCKPILE MITIGATION.
- STOCKPILE SHALL BE LOCATED IN AREAS AS SHOWN ON THE DRAWINGS OR APPROVED BY THE ENGINEER.

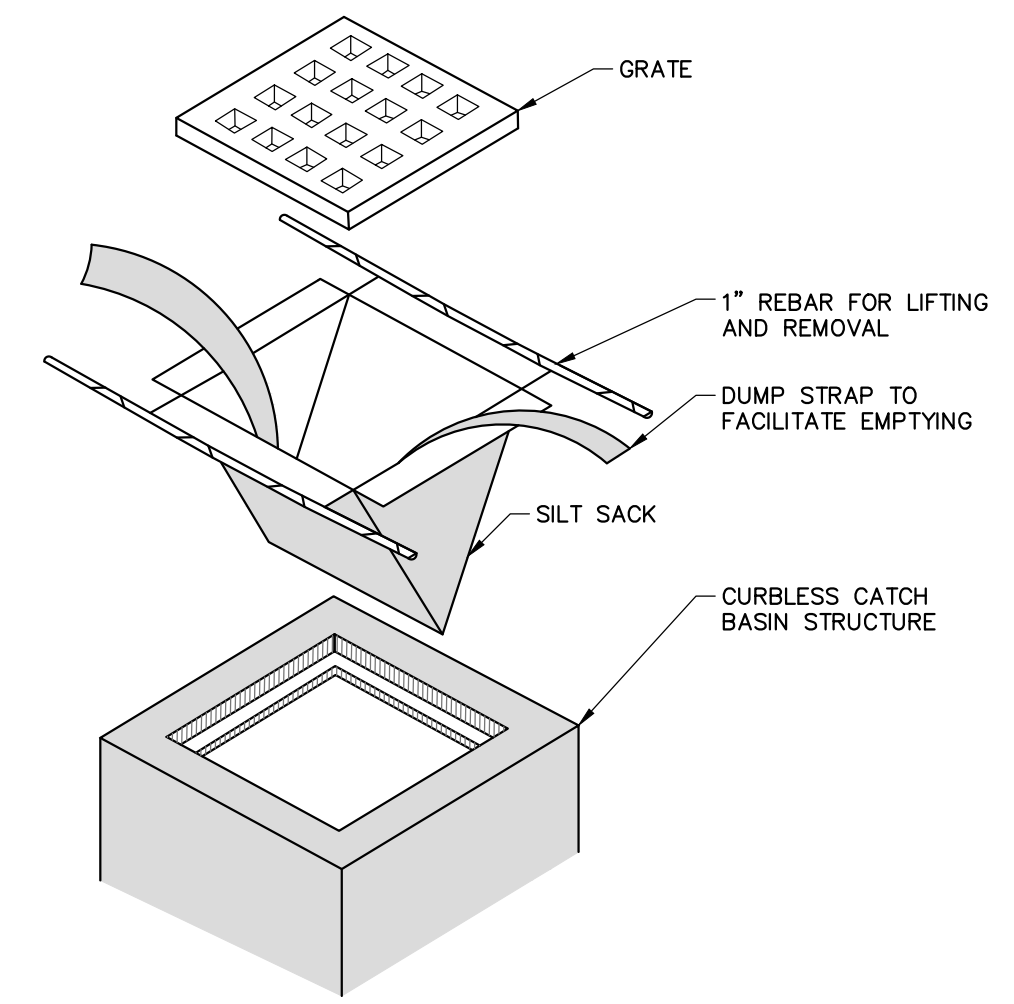
TEMPORARY SOIL STOCKPILE
NOT TO SCALE



NOTE:

- WHEN STAKING IS NOT POSSIBLE, HEAVY CONCRETE BLOCKS SHALL BE USED BEHIND THE SEDIMENT CONTROL TO HELP STABILIZE DURING RAINFALL/RUNOFF EVENTS.

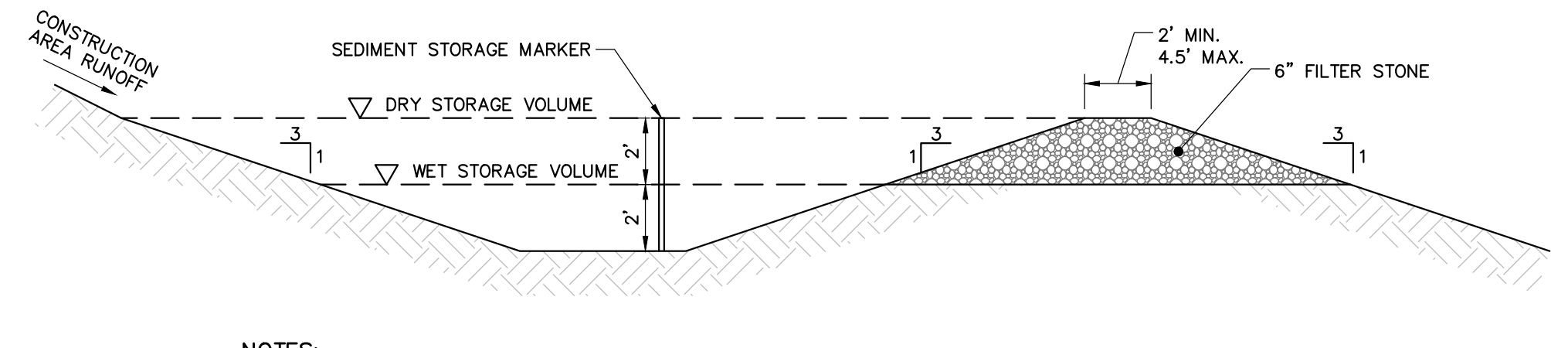
SILT SOCK - CURBLESS INLET
NOT TO SCALE



NOTES:

- INSTALL SILT SACK PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
- EMPTY OR REMOVE SEDIMENT FROM SILT SACK WHEN RESTRAINT CORD IS NO LONGER VISIBLE. CLEAN, RINSE, AND REPLACE AS NEEDED.
- SILT SACKS TO BE INSTALLED WHEN THE POTENTIAL FOR SEDIMENT TO ENTER EXISTING & PROPOSED BASINS EXISTS.

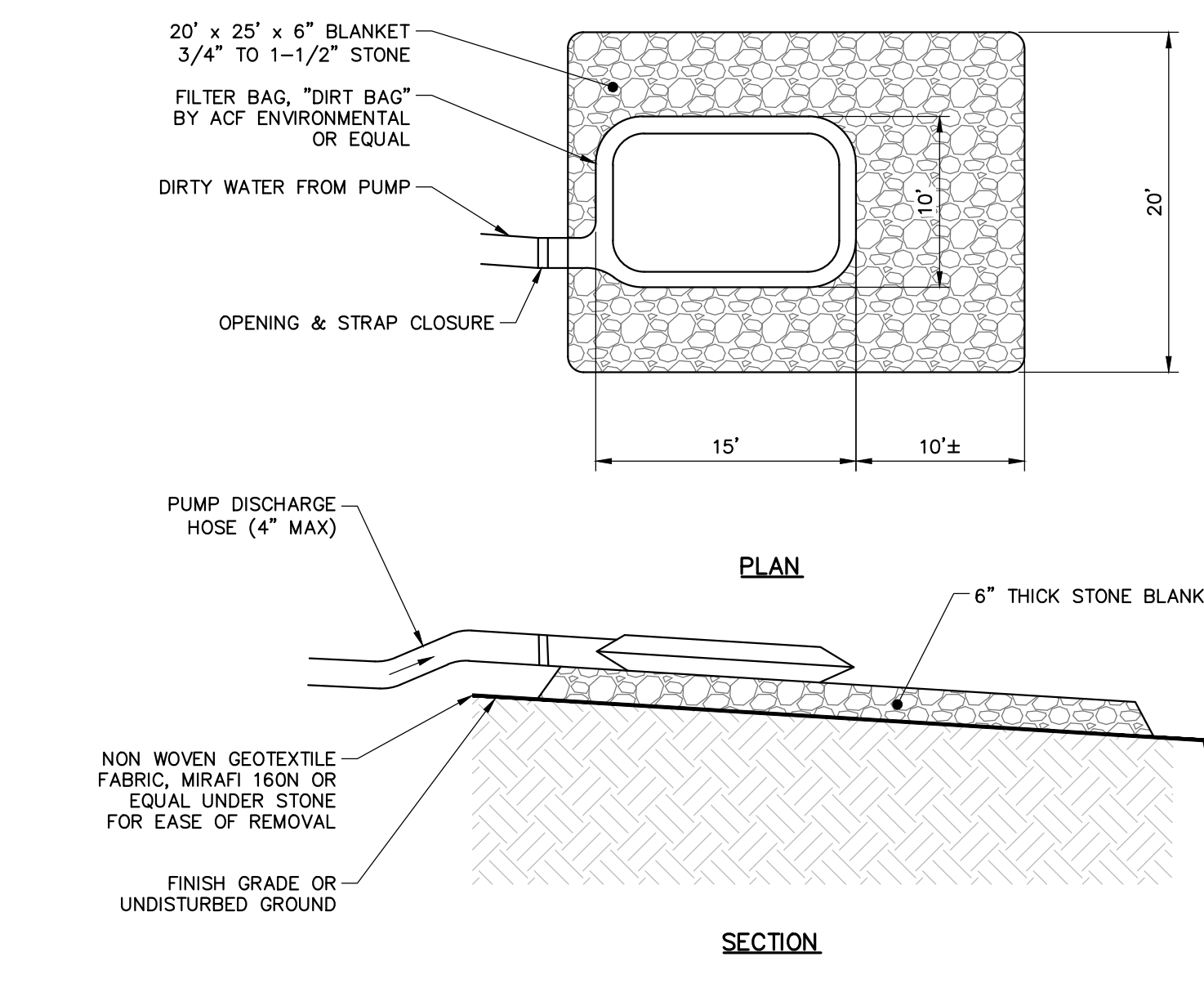
SILT SACK - CURBLESS INLET
NOT TO SCALE



NOTES:

- TEMPORARY SEDIMENT TRAPS SHALL BE CONSTRUCTED AT THE START OF CONSTRUCTION PRIOR TO DISTURBANCE AND INSTALLED PER THE RIDGE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK. SEDIMENT SHALL BE REMOVED FROM THE BASINS AND PROPERLY DISPOSED OF UPON STABILIZATION OF THE SITE.
- BAFFLES CONSISTING OF STONE DIKES OR OTHER STRUCTURALLY SUFFICIENT BARRIERS SHOULD BE ADDED ALONG THE LONG AXIS OF THE TRAP.
- REMOVE SEDIMENT WHEN ACCUMULATION EXCEEDS 1/2 OF THE WET STORAGE VOLUME.

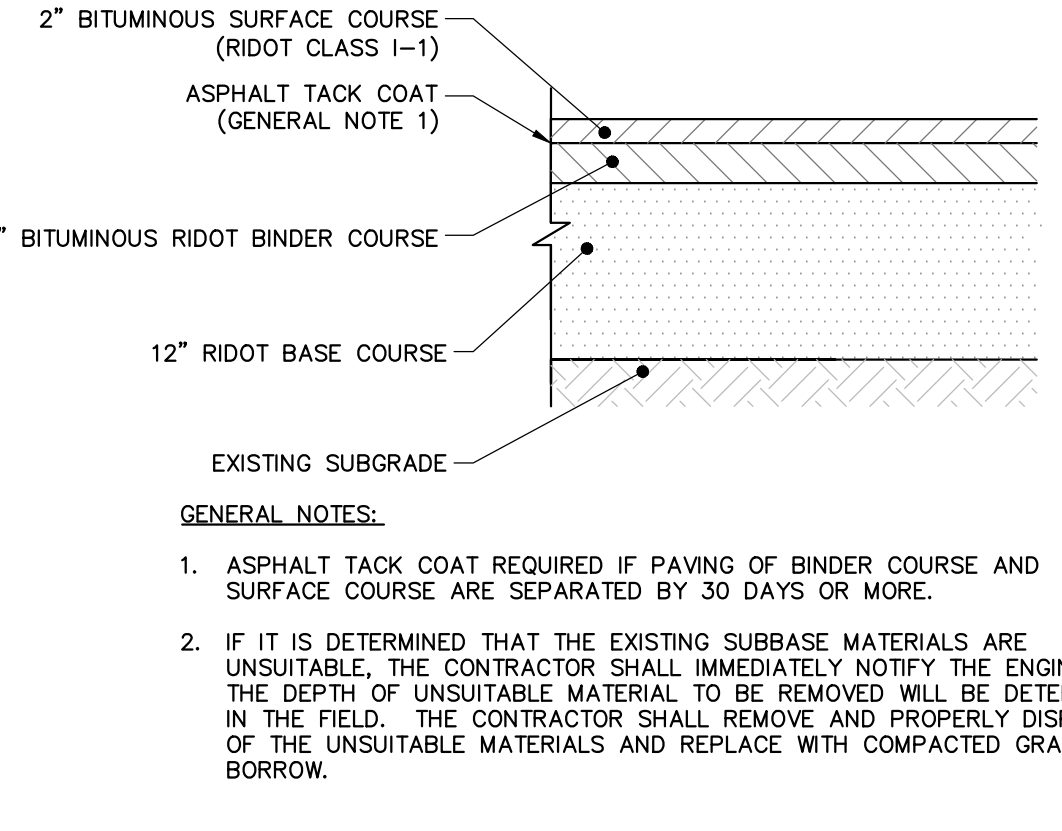
TYPICAL TEMPORARY SEDIMENT TRAP
NOT TO SCALE



NOTES:

- LOCATE DISCHARGE SITE ON FLAT UPLAND AREAS AS FAR AWAY AS POSSIBLE FROM STREAMS, WETLANDS, OTHER RESOURCES AND POINTS OF CONCENTRATED FLOW.
- DISCHARGE NOT PERMITTED WITHIN 200' OF A STREAM OR 100' OF A WETLAND.
- DOWNGRADIENT RECEIVING AREA MUST BE WELL VEGETATED OR OTHERWISE STABLE FROM EROSION, I.E. FOREST FLOOR OR COARSE GRAVEL/STONE.
- NEVER DISCHARGE TO AREAS THAT ARE BARE OR NEWLY VEGETATED.
- DIRT BAG MATERIAL BASED ON PARTICLE SIZE IN DIRTY WATER, I.E., FOR COARSE PARTICLES A WOVEN MATERIAL; FOR SILTS/CLAYS A NON-WOVEN MATERIAL.
- DO NOT OVER PRESSURIZE DIRT BAG OR USE BEYOND CAPACITY.
- CHANNELS DUG FOR DISCHARGING WATER FROM THE EXCAVATED AREA NEED TO BE STABLE. IF FLOW VELOCITIES CAUSE EROSION WITHIN THE CHANNEL, THEN A DITCH LINING SHOULD BE USED.
- BUCKETED WATER SHOULD BE DISCHARGED IN A STABLE MANNER TO THE SEDIMENT REMOVAL AREA. A SPLASH PAD OR RIPRAP UNDERLAIN WITH GEOTEXTILE MAY BE NECESSARY TO PREVENT SCOURING OF SOIL.
- DEWATERING IN PERIODS OF INTENSE, HEAVY RAIN, WHEN THE INFILTRATIVE CAPACITY OF THE SOIL IS EXCEEDED, SHOULD BE AVOIDED.
- INSTALL DIVERSION DITCHES OR BENS TO MINIMIZE THE AMOUNT OF CLEAN STORMWATER RUNOFF ALLOWED INTO THE EXCAVATED AREA.
- DURING THE ACTIVE DEWATERING PROCESS, INSPECTION OF THE DEWATERING FACILITY SHOULD BE REVIEWED FREQUENTLY. SPECIAL ATTENTION SHOULD BE PAID TO THE BUFFER AREA FOR ANY SIGN OF EROSION AND CONCENTRATION OF FLOW THAT MAY COMPROMISE THE BUFFER AREA. OBSERVE WHERE POSSIBLE THE VISUAL QUALITY OF THE EFFLUENT AND DETERMINE IF ADDITIONAL TREATMENT CAN BE PROVIDED.
- EROSION CONTROL REQUIRED AROUND DEWATERING DISCHARGE SEDIMENT CONTROL DEVICE.

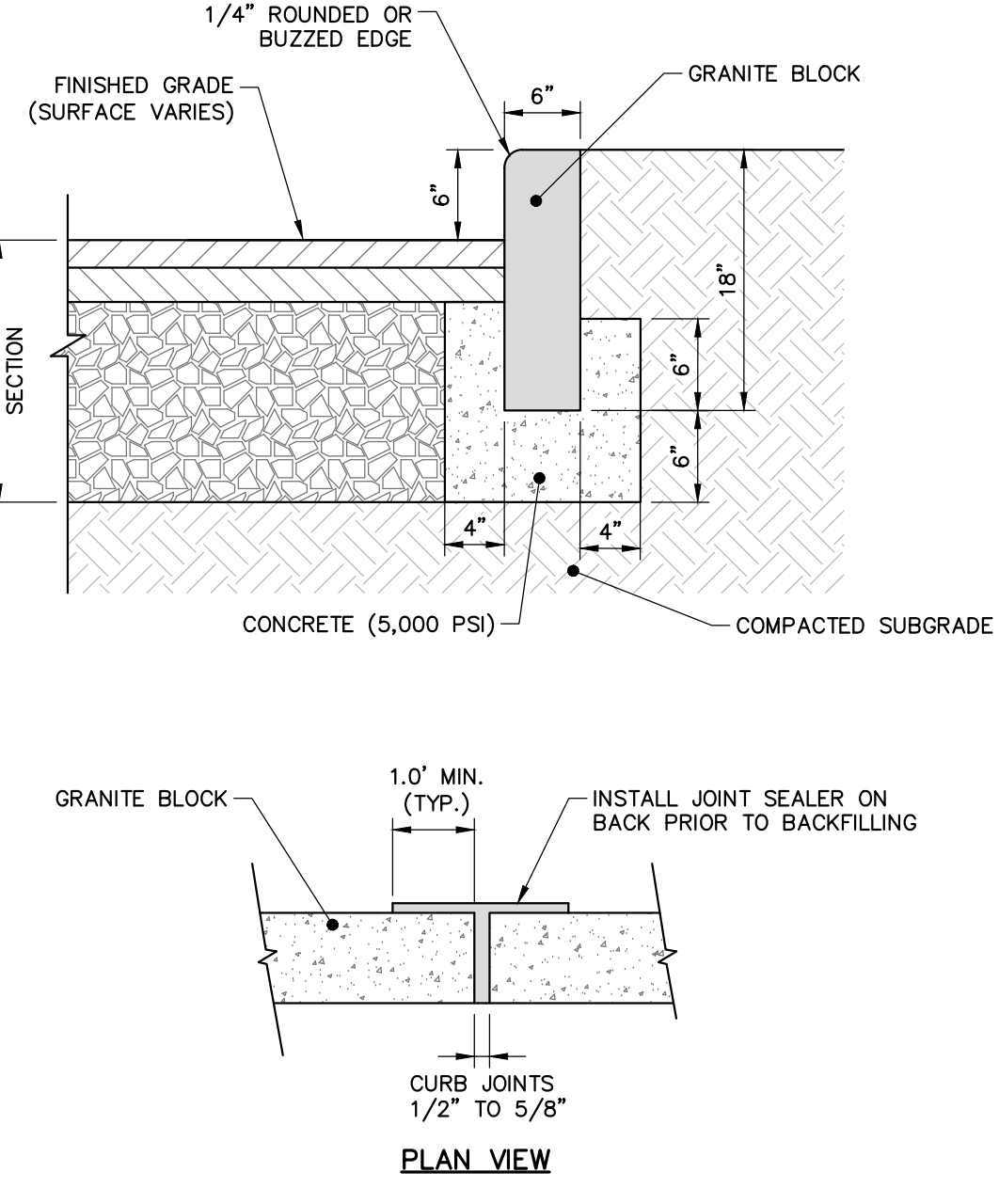
DEWATERING DISCHARGE SEDIMENT CONTROL DEVICE
NOT TO SCALE



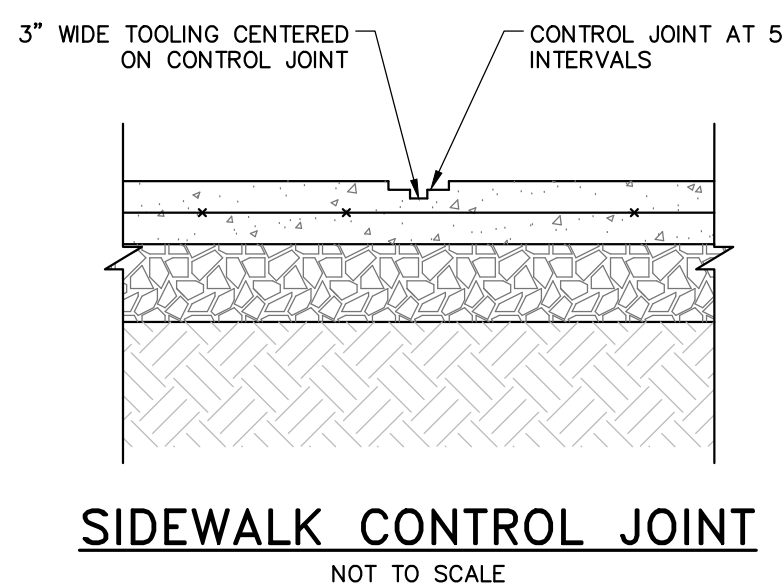
GENERAL NOTES:

- ASPHALT TACK COAT REQUIRED IF PAVING OF BINDER COURSE AND SURFACE COURSE ARE SEPARATED BY 30 DAYS OR MORE.
- IF IT IS DETERMINED THAT THE EXISTING SUBGRADE MATERIALS ARE UNSUITABLE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. THE DEPTH OF UNSUITABLE MATERIAL TO BE REMOVED WILL BE DETERMINED IN THE FIELD. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF THE UNSUITABLE MATERIALS AND REPLACE WITH COMPACTED GRAVEL BORROW.

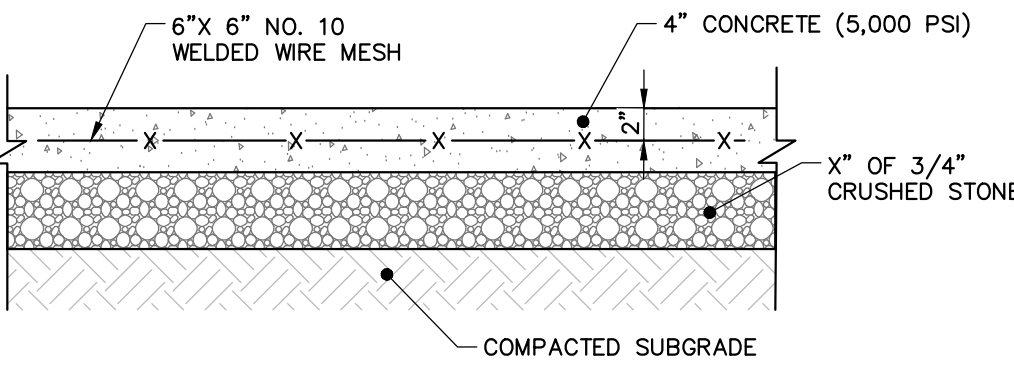
BITUMINOUS PAVEMENT SECTION
NOT TO SCALE



VERTICAL GRANITE CURB
NOT TO SCALE



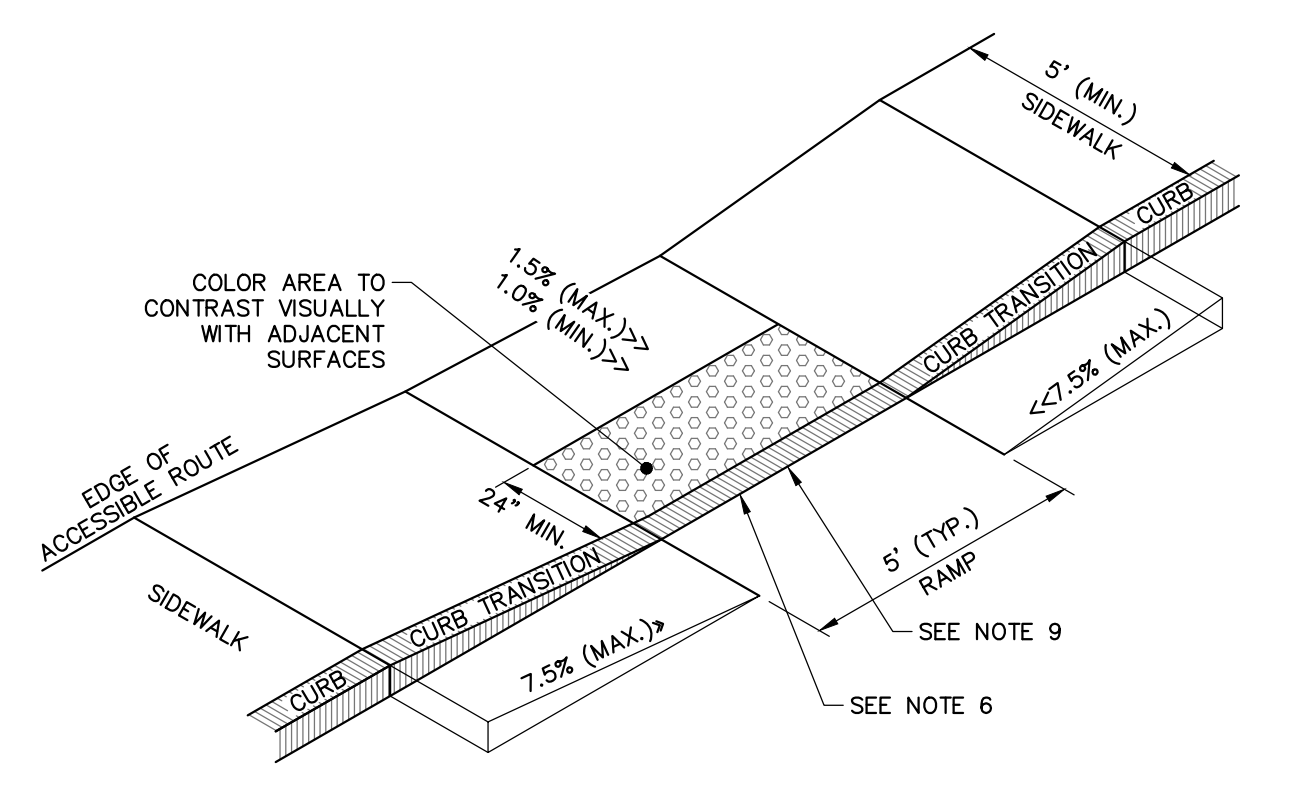
SIDEWALK CONTROL JOINT
NOT TO SCALE



NOTES:

- PROVIDE 1/2-INCH PREMOLDED BITUMINOUS EXPANSION JOINTS AT 20 FT. INTERVALS.
- PROVIDE CONTROL JOINTS AT 5-FOOT INTERVALS.
- PROVIDE LIGHT BROOM FINISH WITH 3-INCH EDGE.

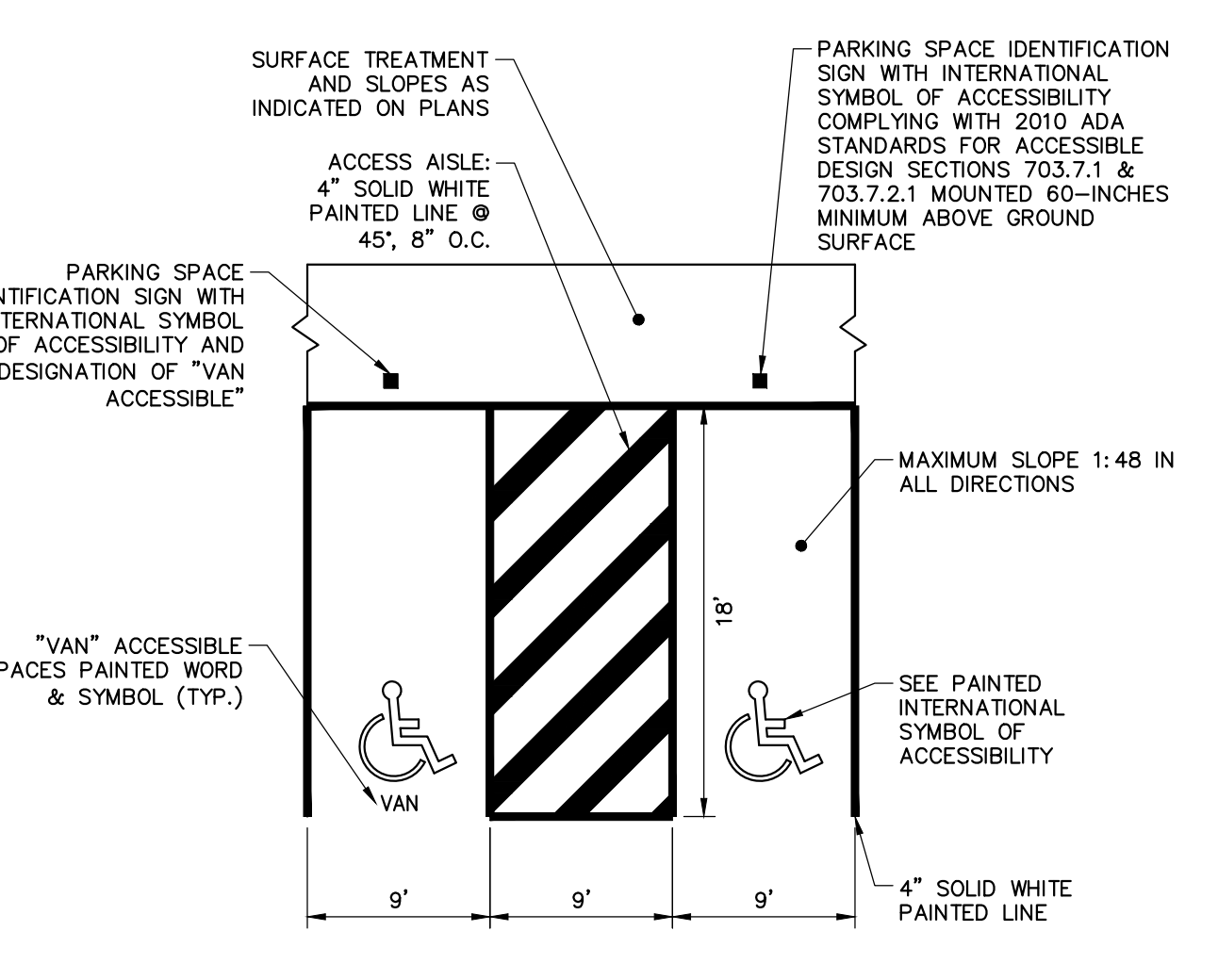
CAST-IN-PLACE CONCRETE SIDEWALK
NOT TO SCALE



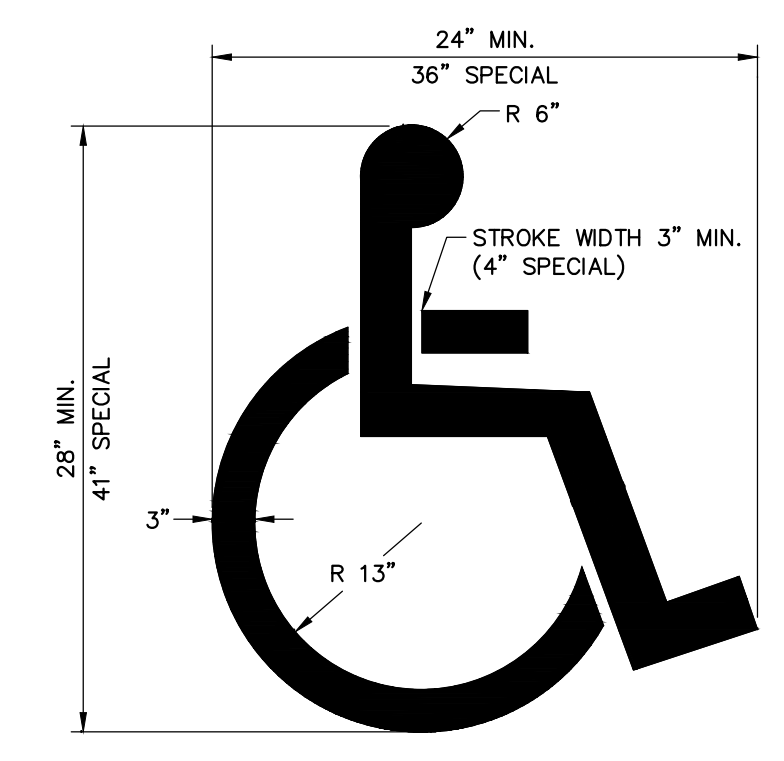
NOTES:

- THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN.)
- THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
- THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
- A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
- BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
- ADJACENT SURFACES AT TRANSITIONS SHALL BE FLUSH WITH CURB RAMPS.
- SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
- WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5'-5\"/>

ACCESSIBLE CURB RAMP (ACR) - TYPE 'A'
NOT TO SCALE



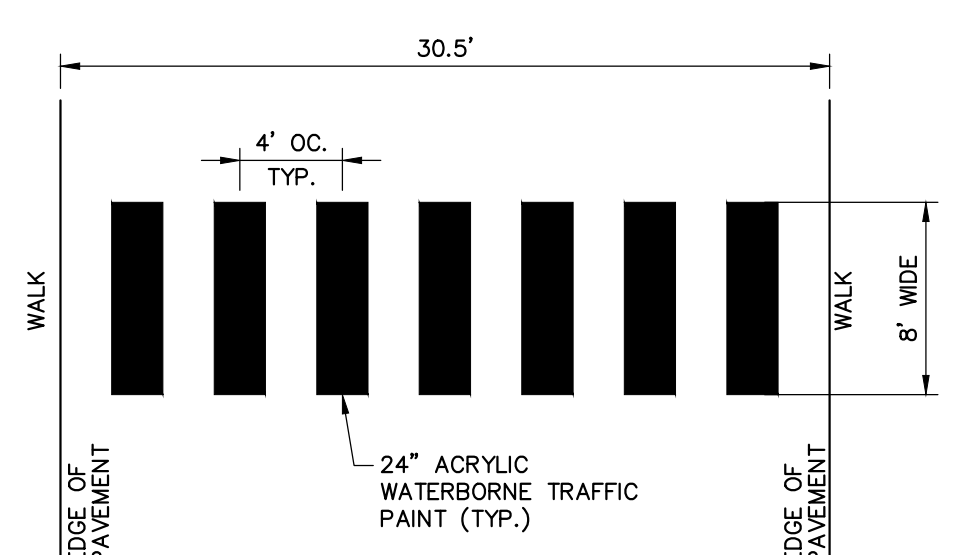
ACCESSIBLE PARKING STALL LAYOUT
NOT TO SCALE



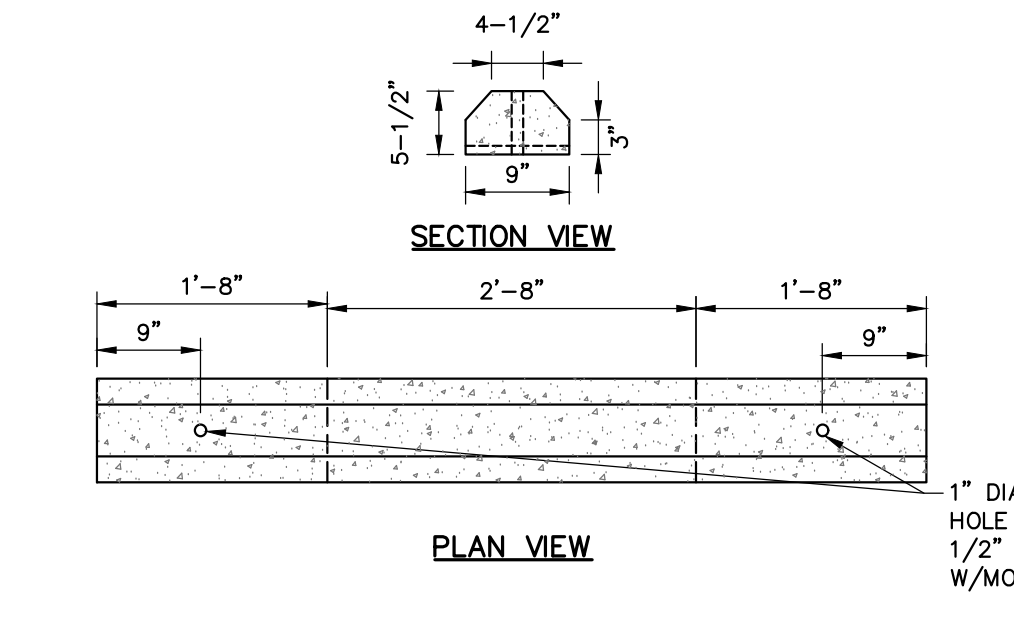
NOTES:

- SYMBOL SHALL BE PAINTED WHITE IN COMPLIANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SECTION 3B.19, SECTION 3B.20 AND FIGURE 3B-22.
- A BLUE RECTANGULAR (MIN. 36\"/>

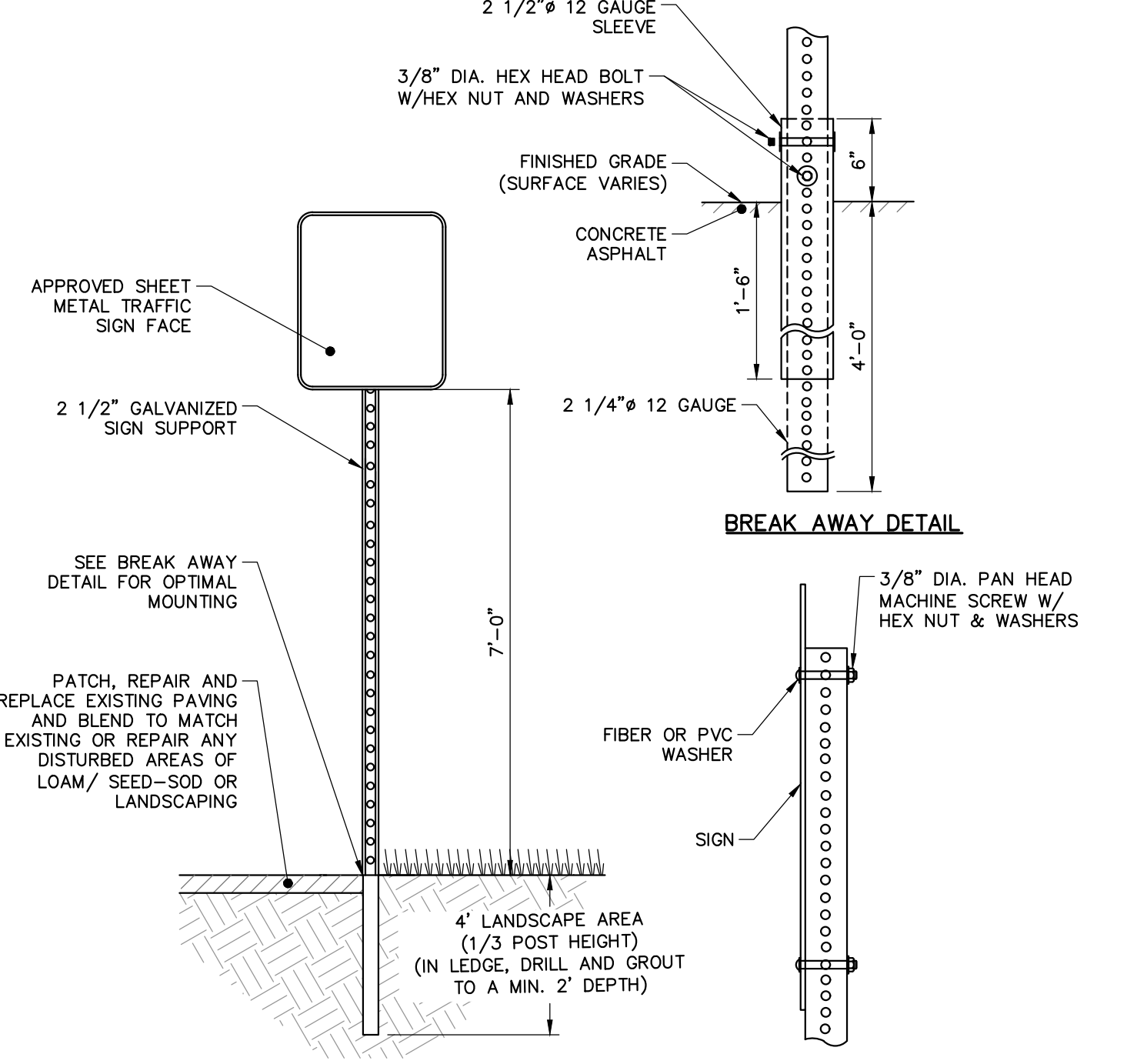
PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY
NOT TO SCALE



CROSSWALK PAVEMENT MARKING
NOT TO SCALE



WHEEL STOP
NOT TO SCALE



TRAFFIC SIGN POST
NOT TO SCALE

NOTES: ---

ISSUE DATE:	PERMITTING SET
6/12/2024	
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FOR ALL ABBREVIATIONS, SYMBOLS LEGENDS, AND GENERAL NOTES SEE SHEET C-000

KEY PLAN

SCALE: AS NOTED

PLAN NORTH

TRUE NORTH

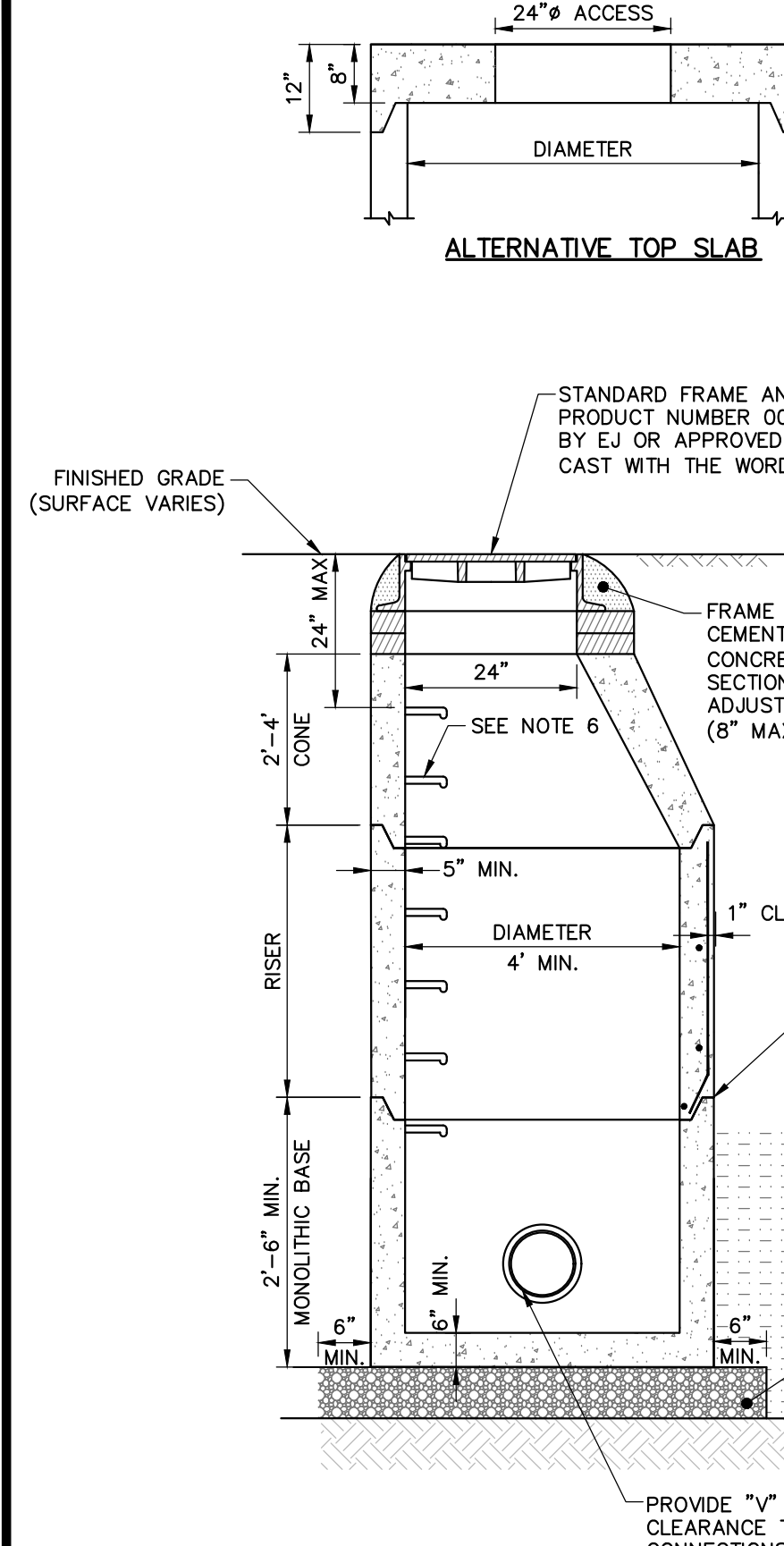


NEW INDUSTRIAL MANUFACTURING AND WAREHOUSING FACILITY FOR TACO
COMFORT SOLUTIONS, INC.
35 CARLSBAD STREET, CRANSTON, RI 02920

PROJECT NUMBER: 2022-077
DRAWN BY: KCC
REVIEWED BY: CG

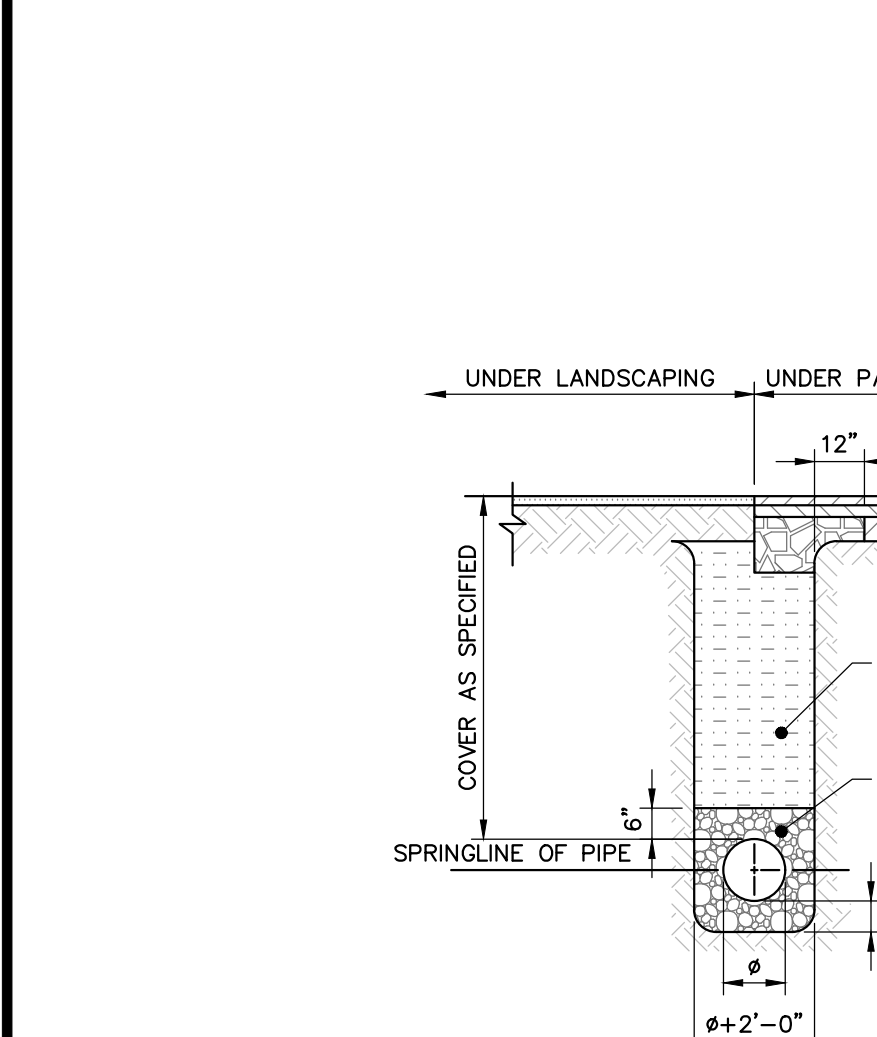
CIVIL DETAILS 1

DRAWING #: **C-500**



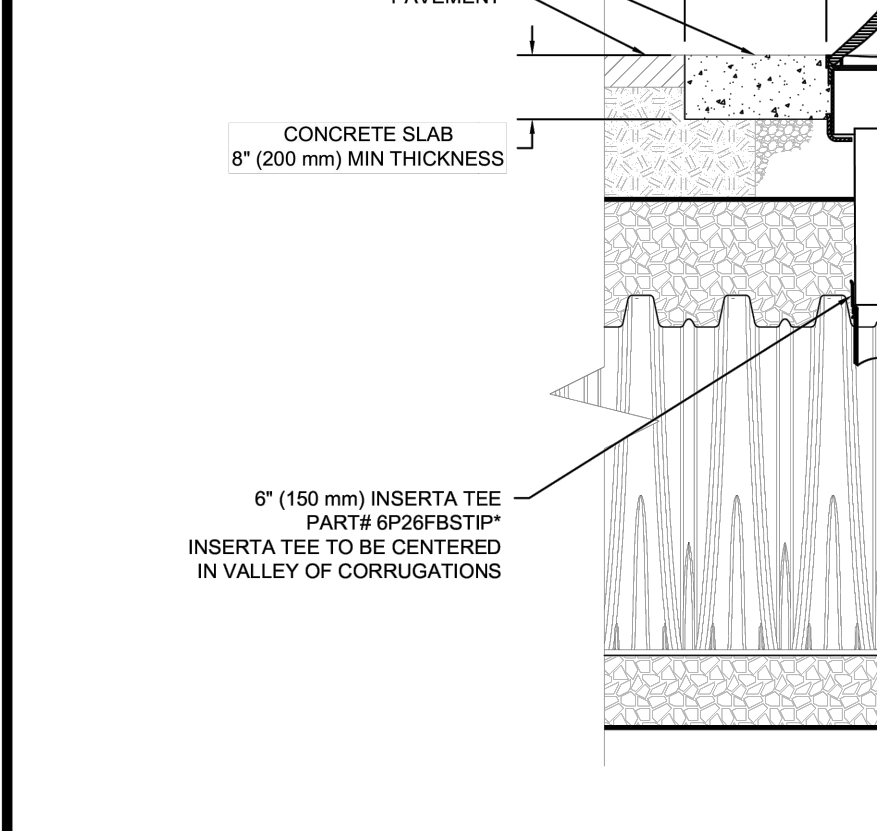
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 2. PRECAST CONCRETE STRUCTURES SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C-478.
 3. ALTERNATE TOP SLAB MAY BE USED AS DICTATED BY DESIGN AND/OR FIELD CONDITIONS.
 4. UNLESS OTHERWISE NOTED, MANHOLES SHALL BE 48-INCH IN DIA.
 5. MANHOLE FRAME AND GRATE(S) SHALL MEET MUNICIPAL AND STATE SPECIFICATIONS WHEN APPLICABLE.
 6. 16" ALUM OR REINFORCED PLASTIC MANHOLE STEPS 12" IN CENTER.

PRECAST CONCRETE DRAINAGE MANHOLE
NOT TO SCALE

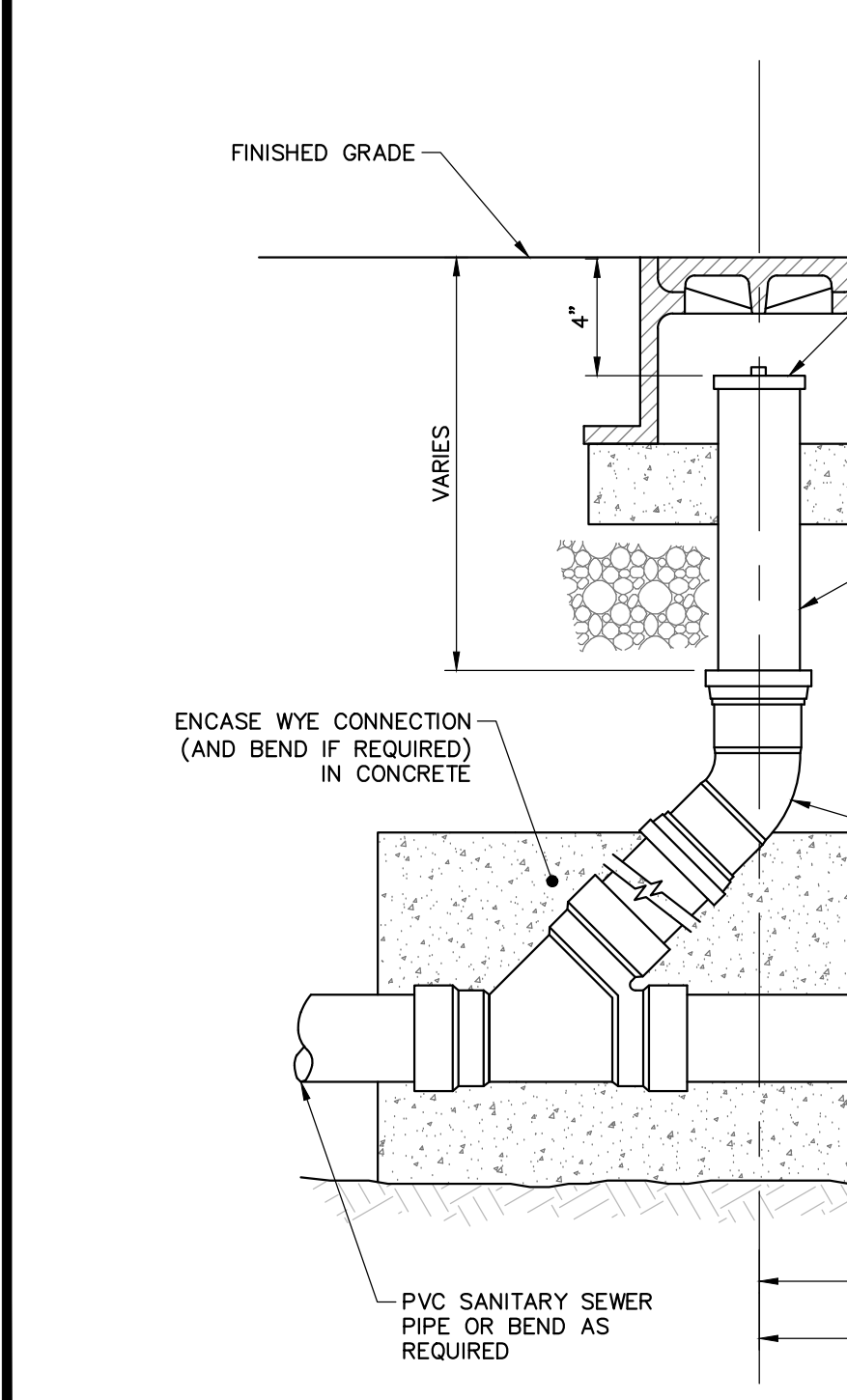


- NOTES:
1. BEDDING, HAUNCHING AND BACKFILL SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS.
 2. FILTER FABRIC (MEAT 140N OR APPROVED EQUAL) SHALL BE INSTALLED AGAINST THE TRENCH WALLS IN THE BEDDING AND HAUNCHING ZONES WHEN FINE SANDS, SILT, CLAY OR ORGANIC MATERIALS ARE ENCOUNTERED AT THE TRENCH BOTTOM.

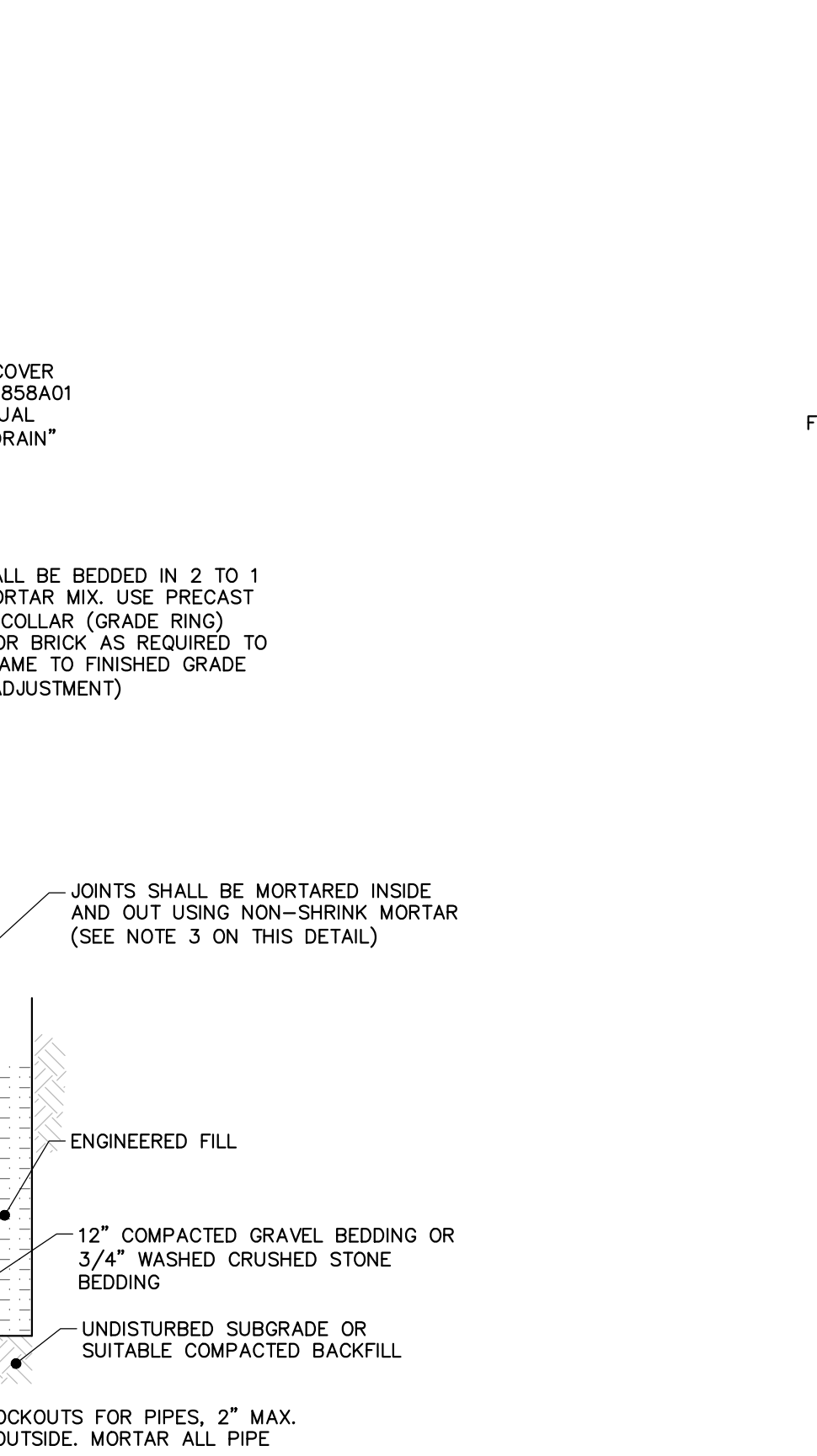
DOGHOUSE MANHOLE
NOT TO SCALE



PIPE TRENCH
NOT TO SCALE

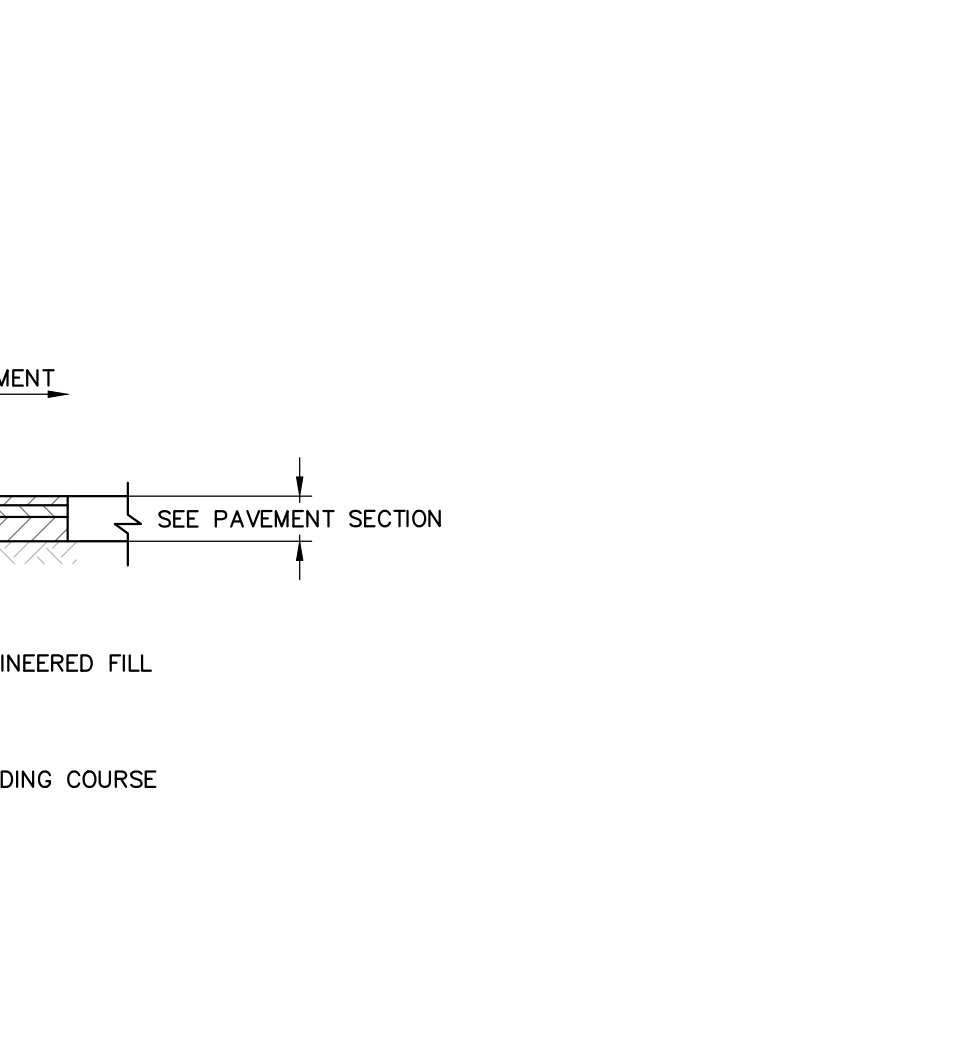


SANITARY SEWER CLEANOUT
NOT TO SCALE



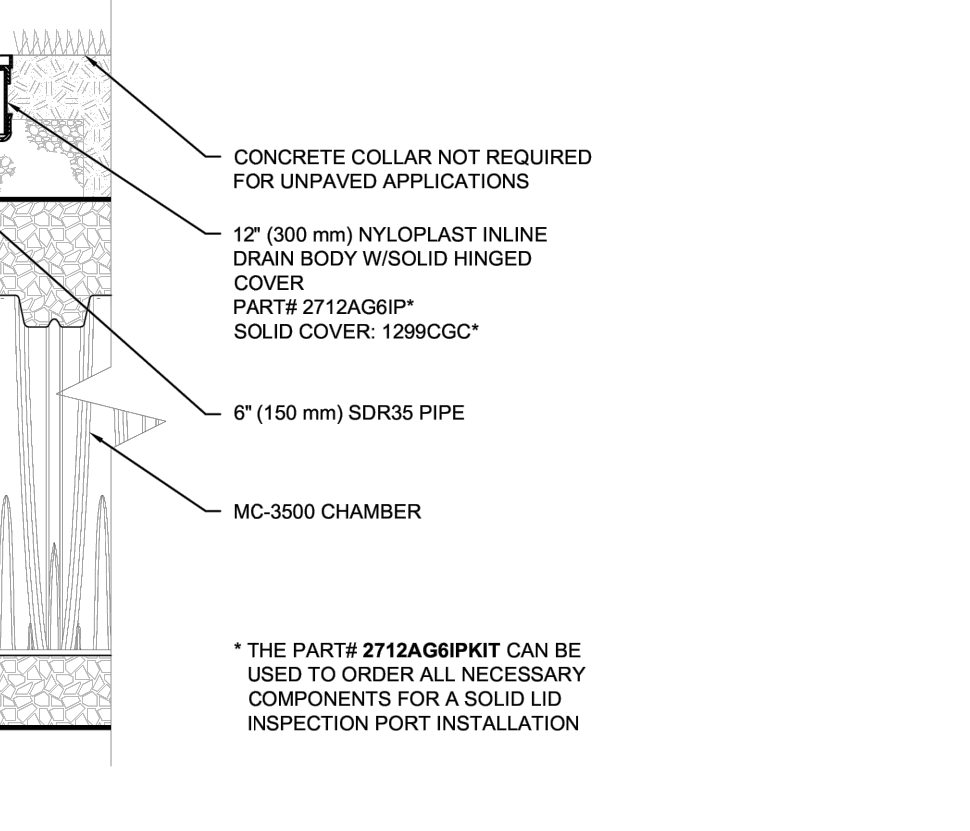
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BASE ISOMETRIC VIEW

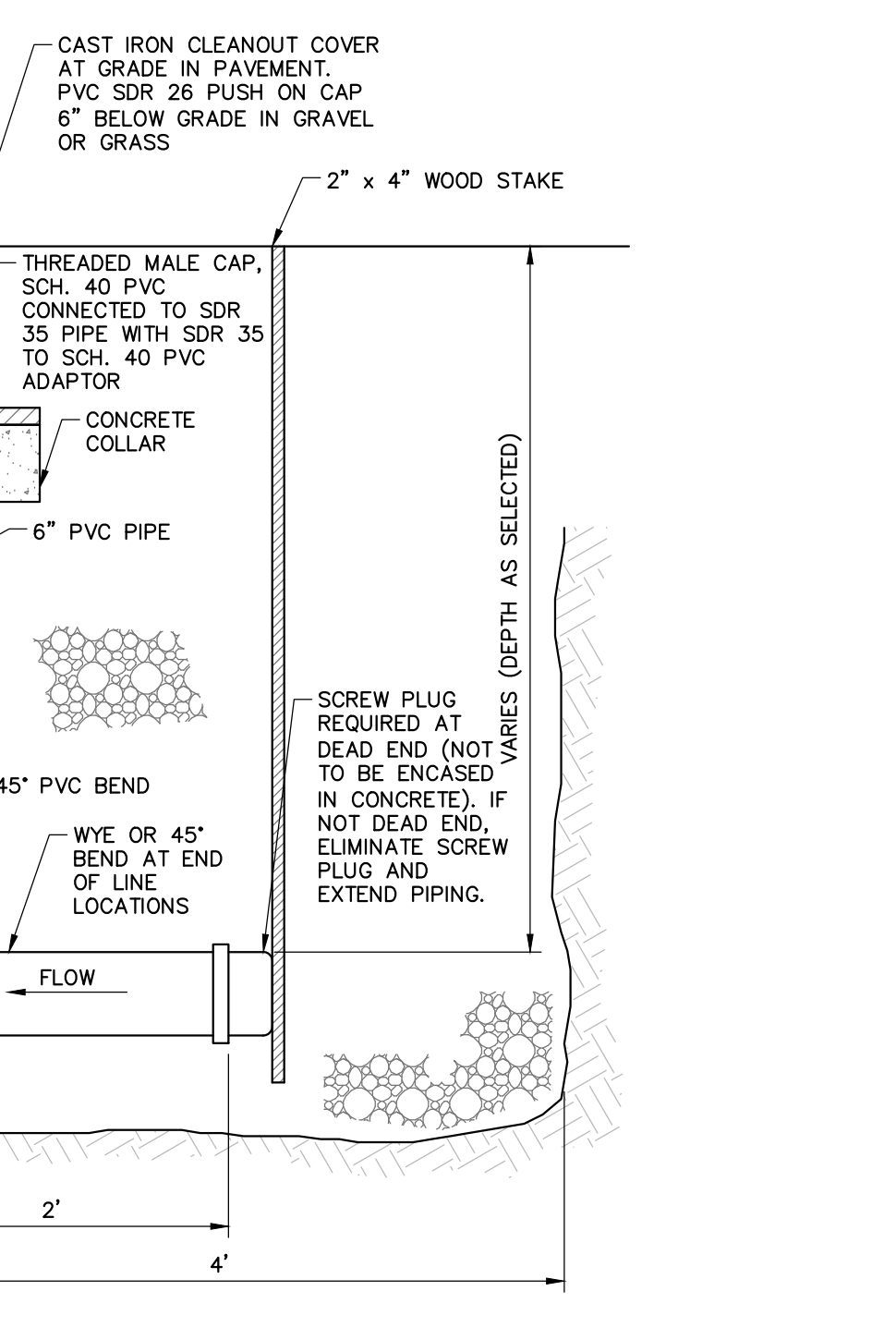


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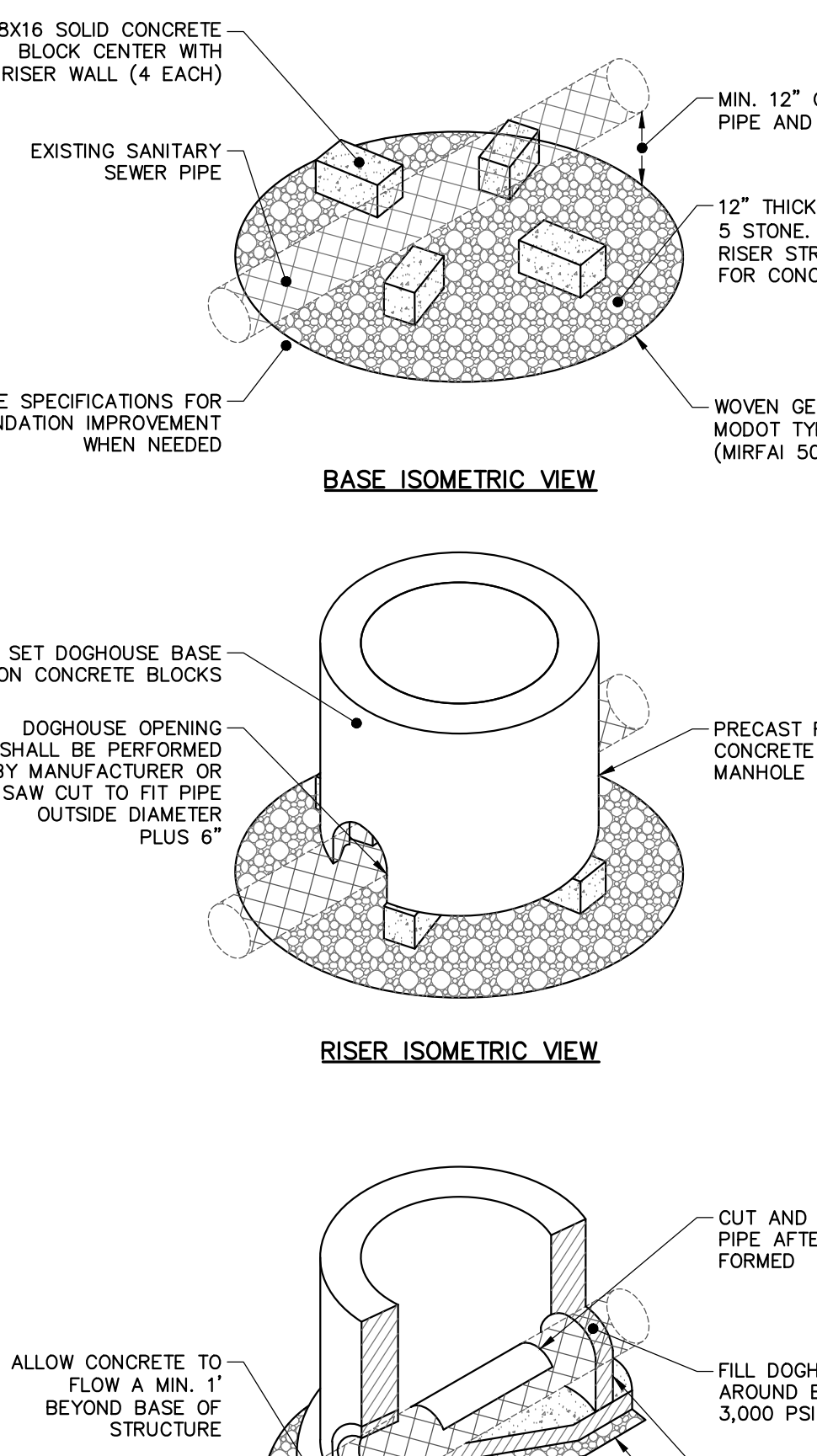
RISER ISOMETRIC VIEW



FOUNDATION SECTION VIEW

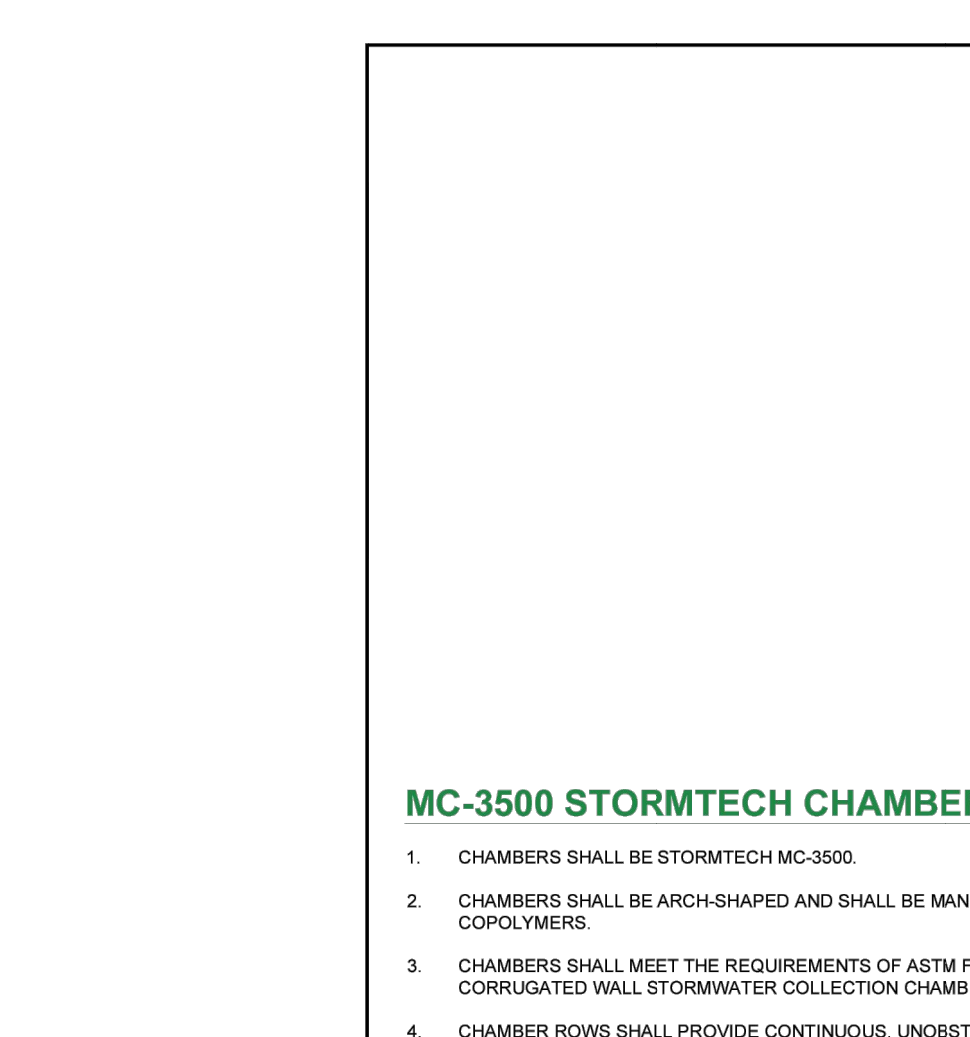


PRECAST CONCRETE CATCH BASIN
NOT TO SCALE



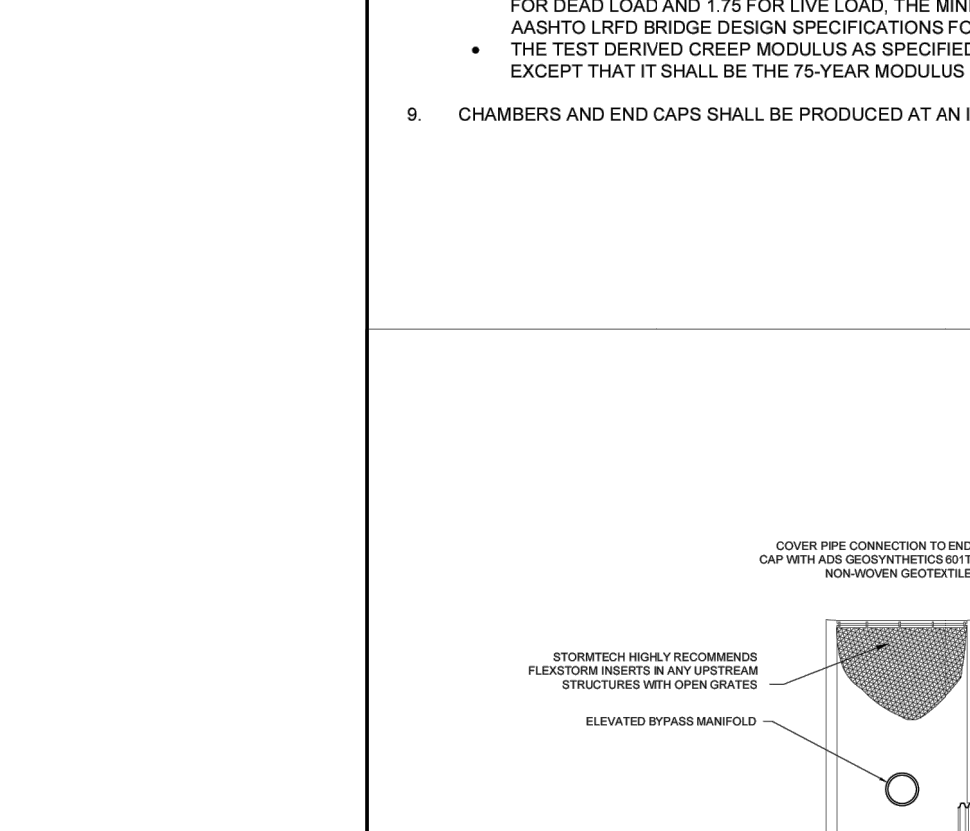
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OUTLET CONTROL STRUCTURE 2
NOT TO SCALE

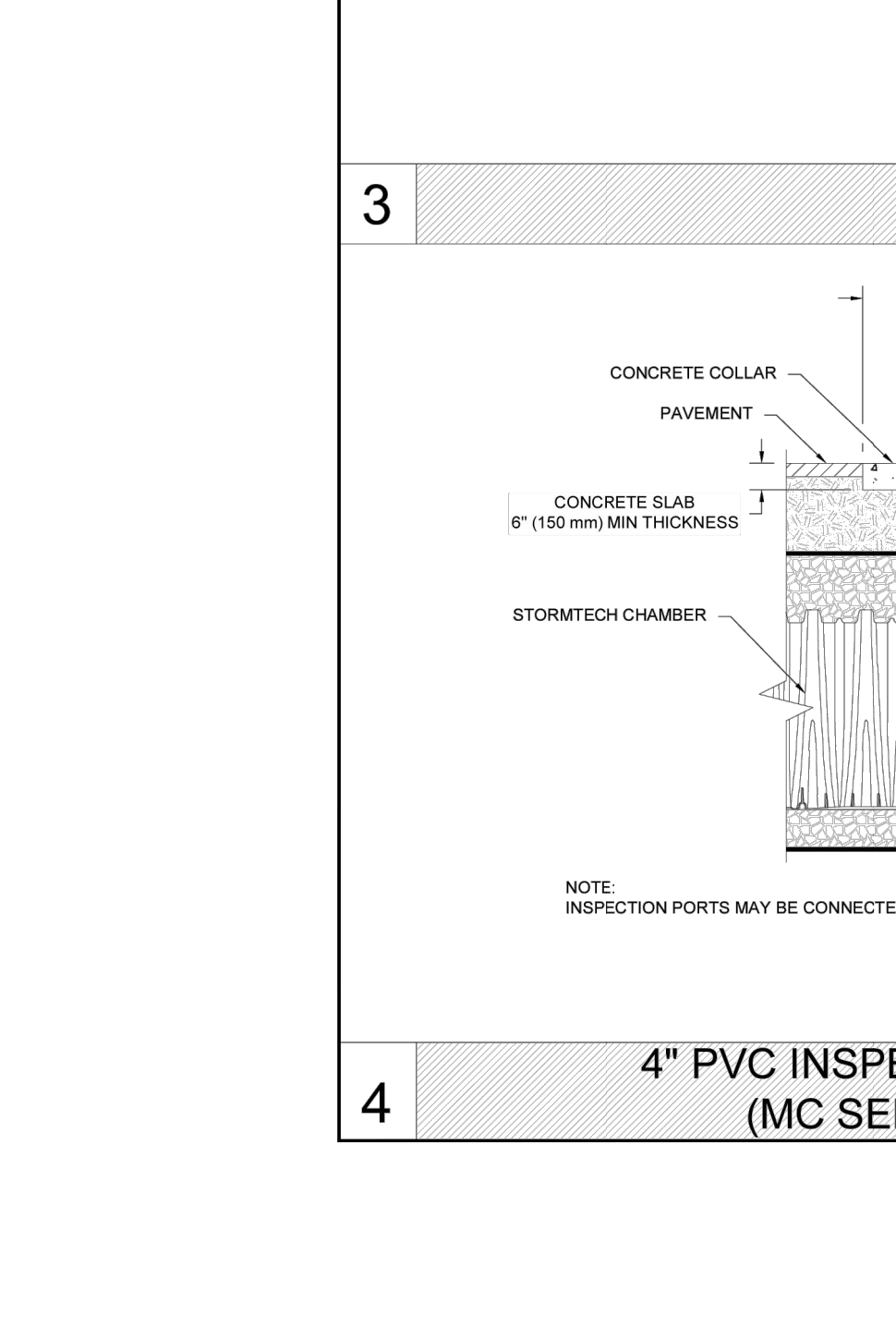


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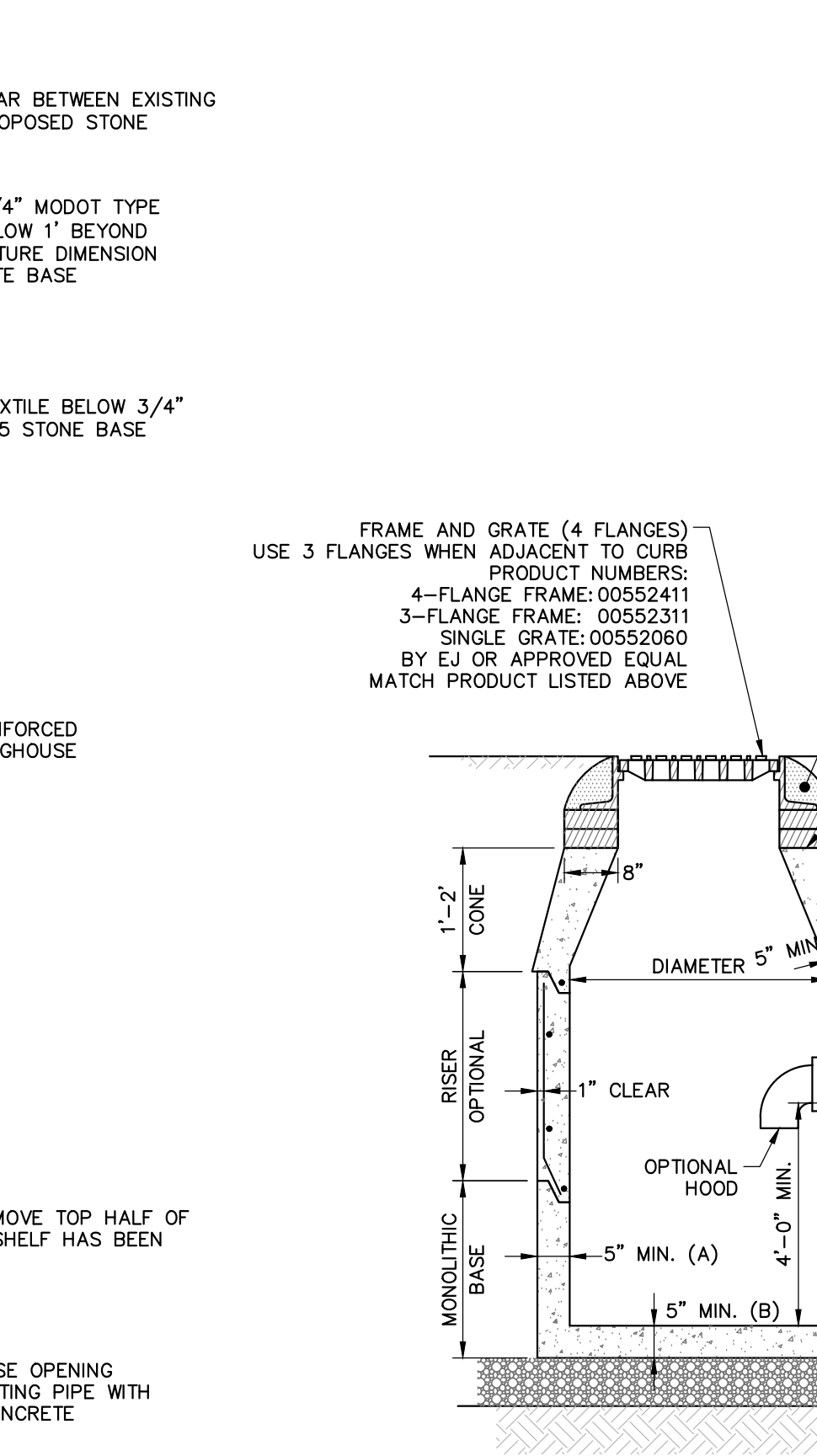
OUTLET CONTROL STRUCTURE 1
NOT TO SCALE



MC-3500 STORMTECH CHAMBER SPECIFICATIONS



UNDERDRAIN DETAIL



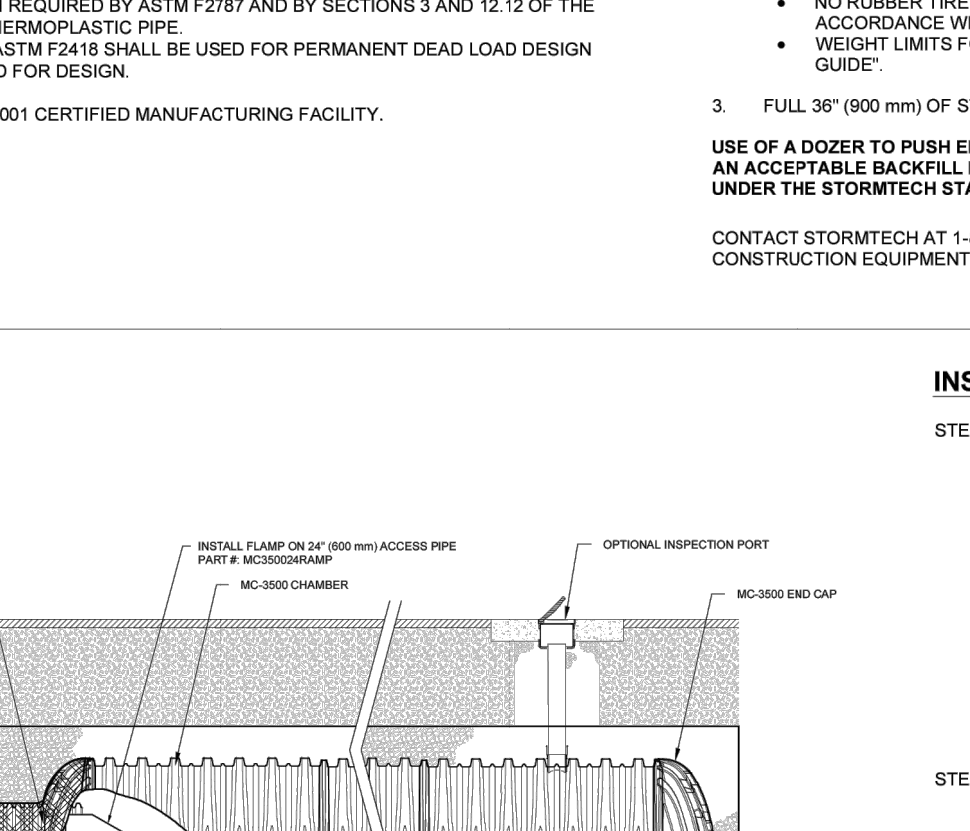
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MC-3500 6" (150mm) INSPECTION PORT
NOT TO SCALE

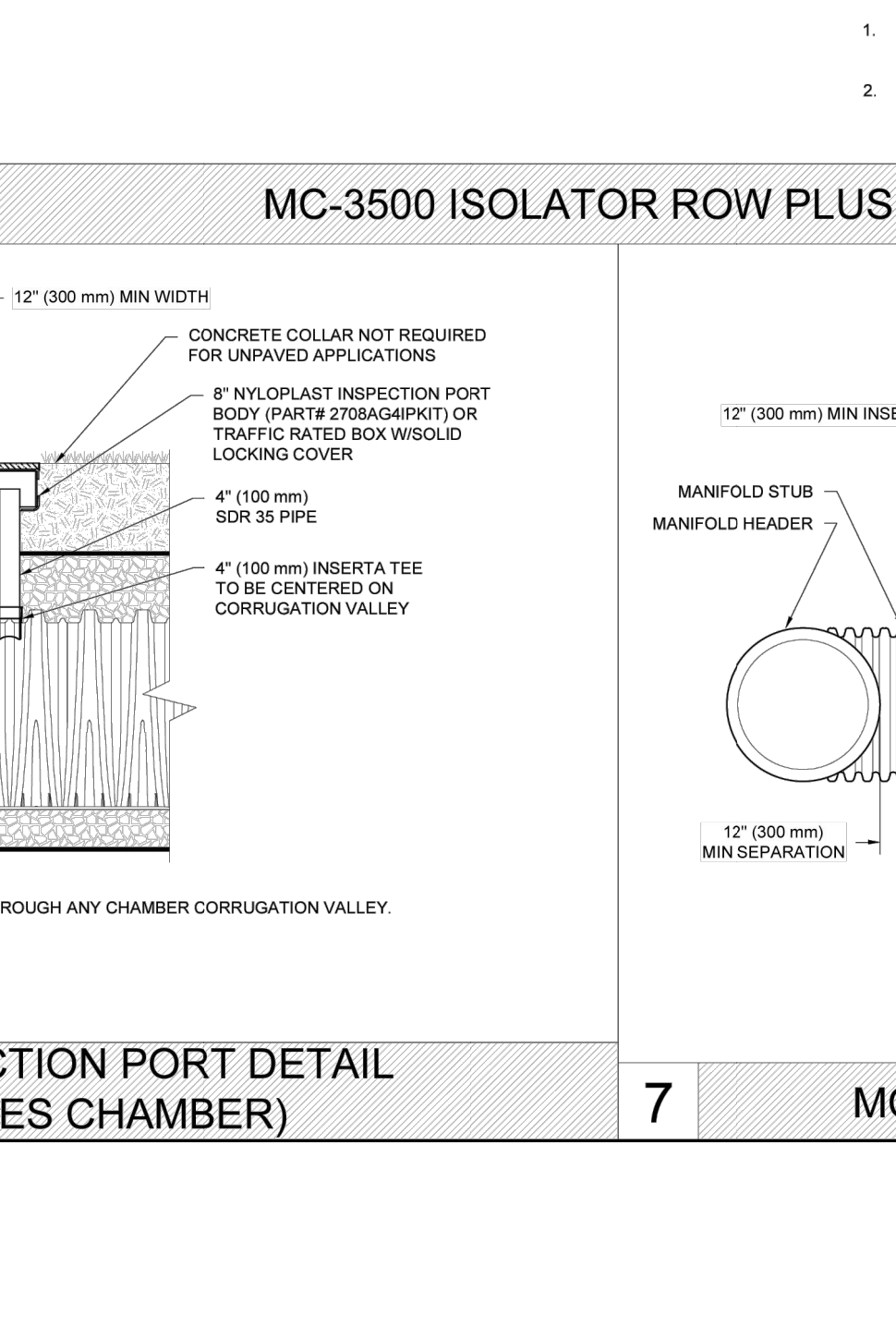


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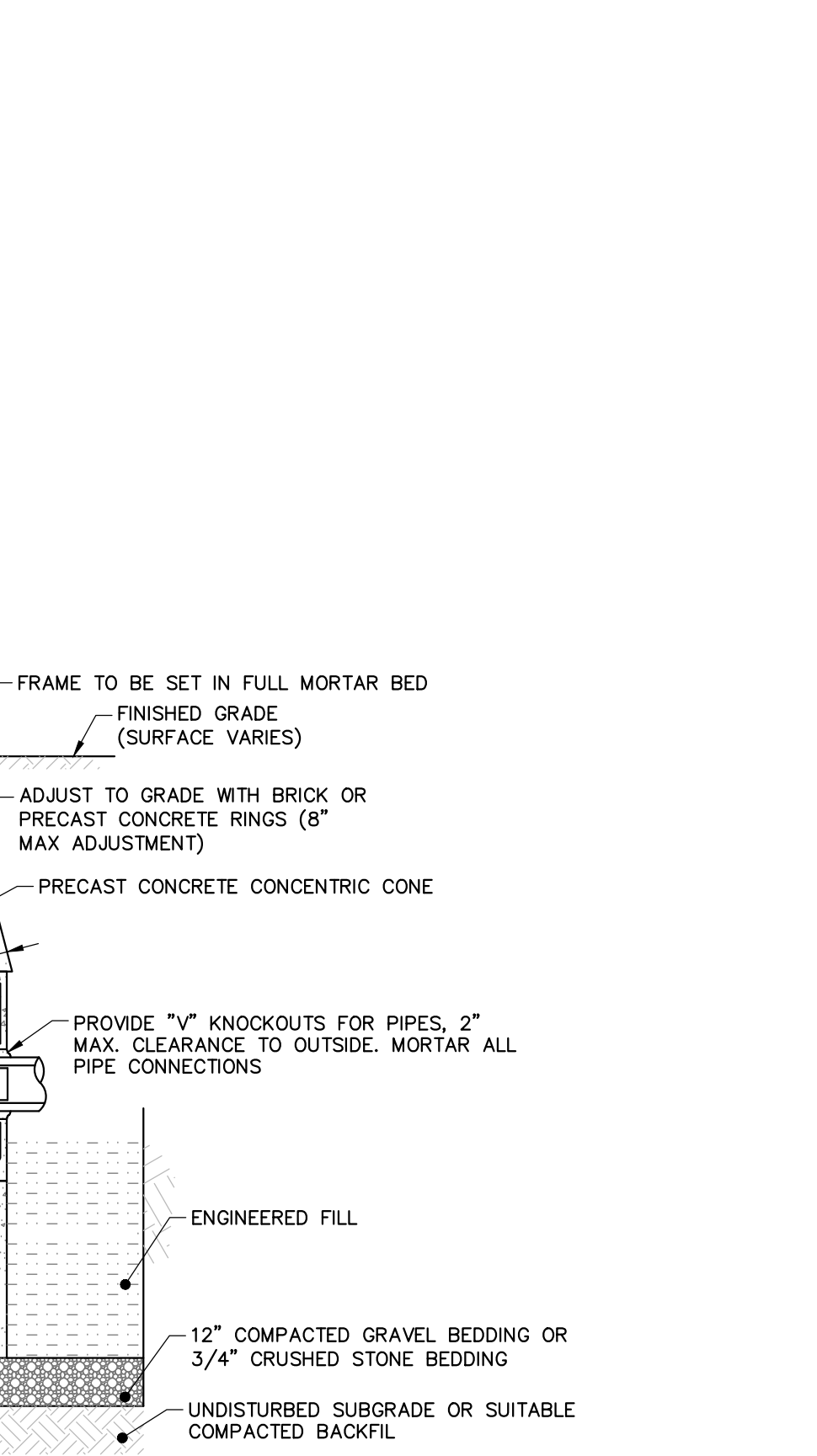
4" PVC INSPECTION PORT DETAIL (MC SERIES CHAMBER)



MC-SERIES END CAP INSERTION DETAIL

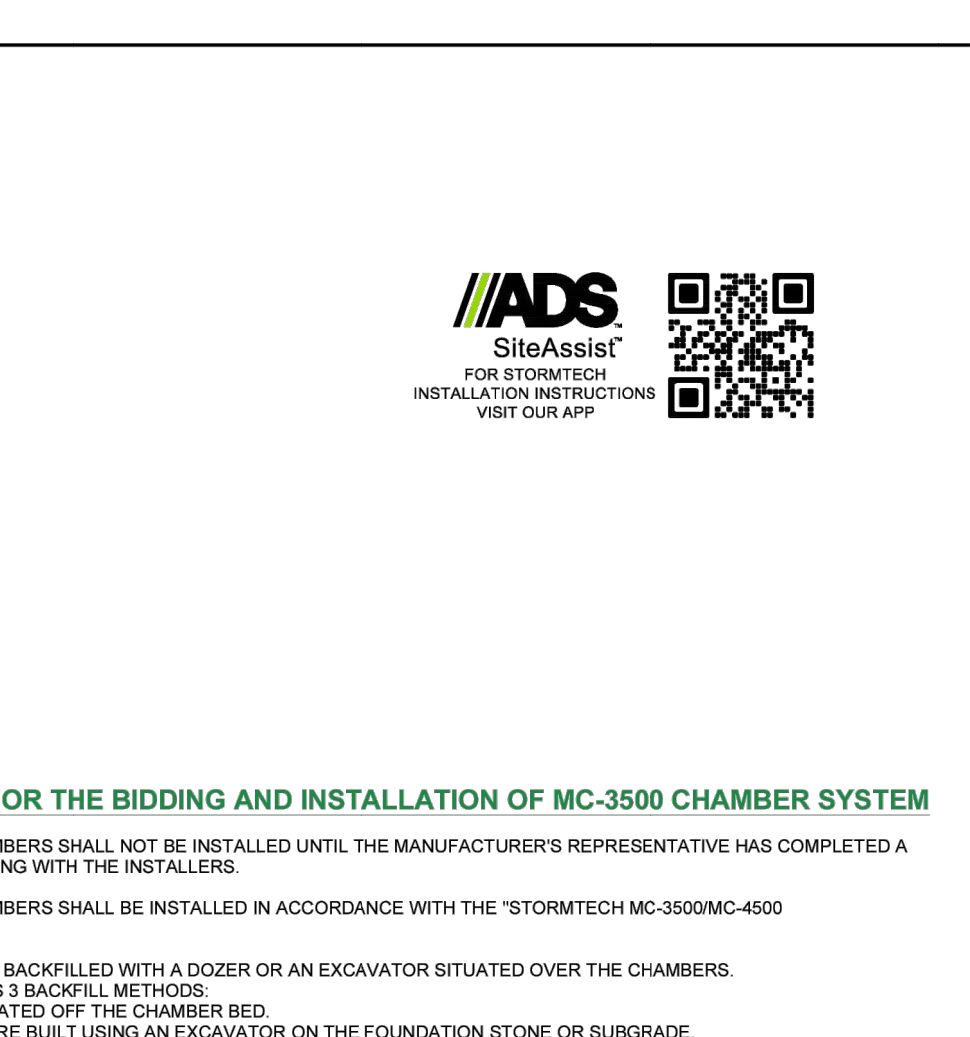


MC-3500 CROSS SECTION DETAIL



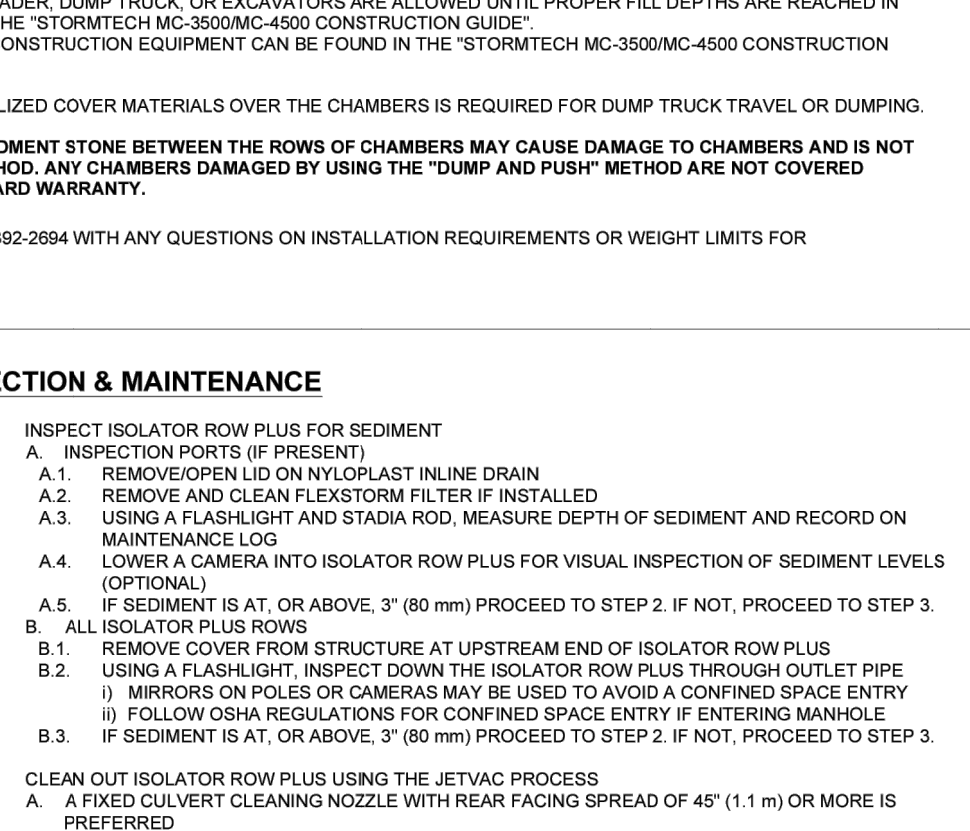
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4" PVC INSPECTION PORT DETAIL (MC SERIES CHAMBER)

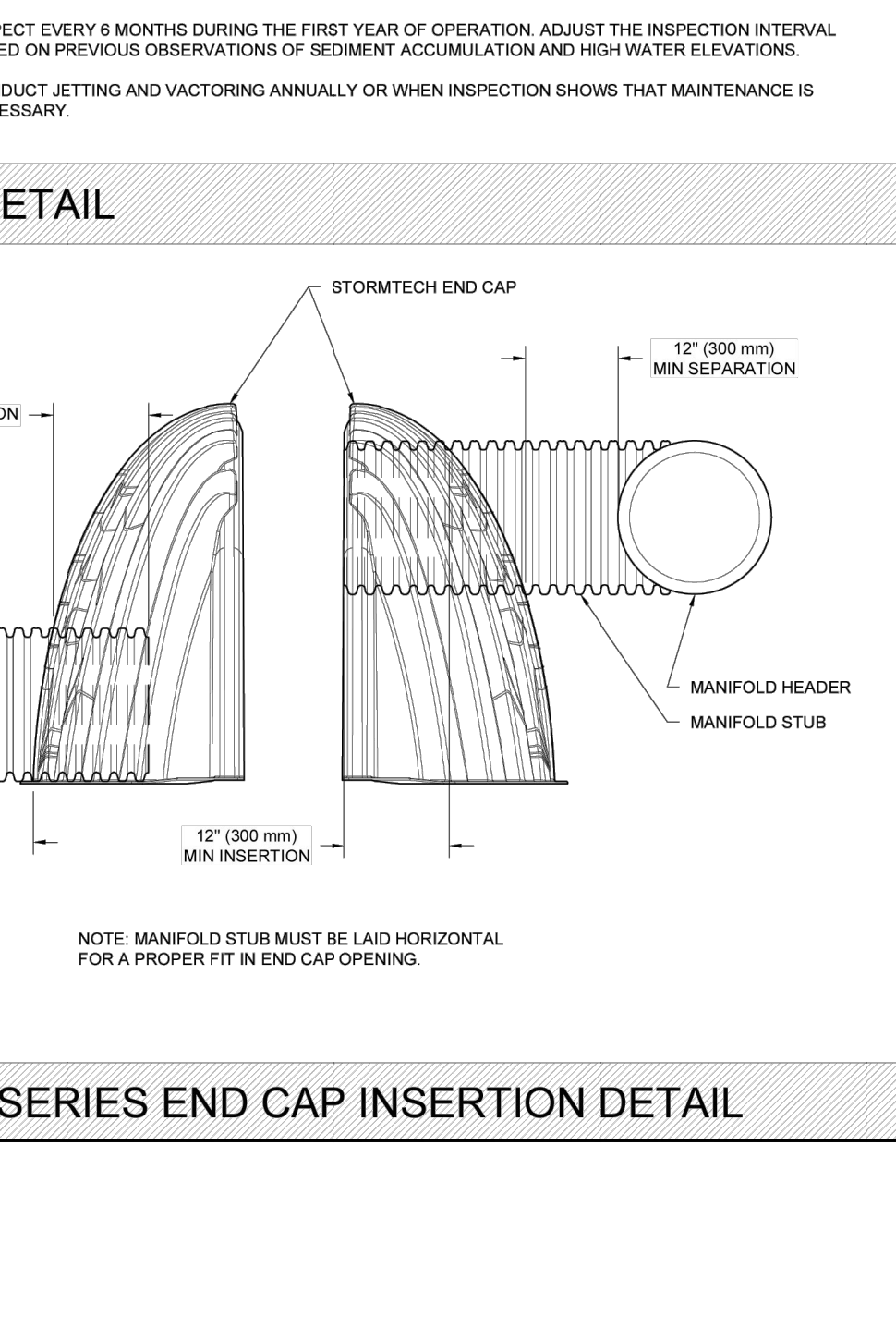


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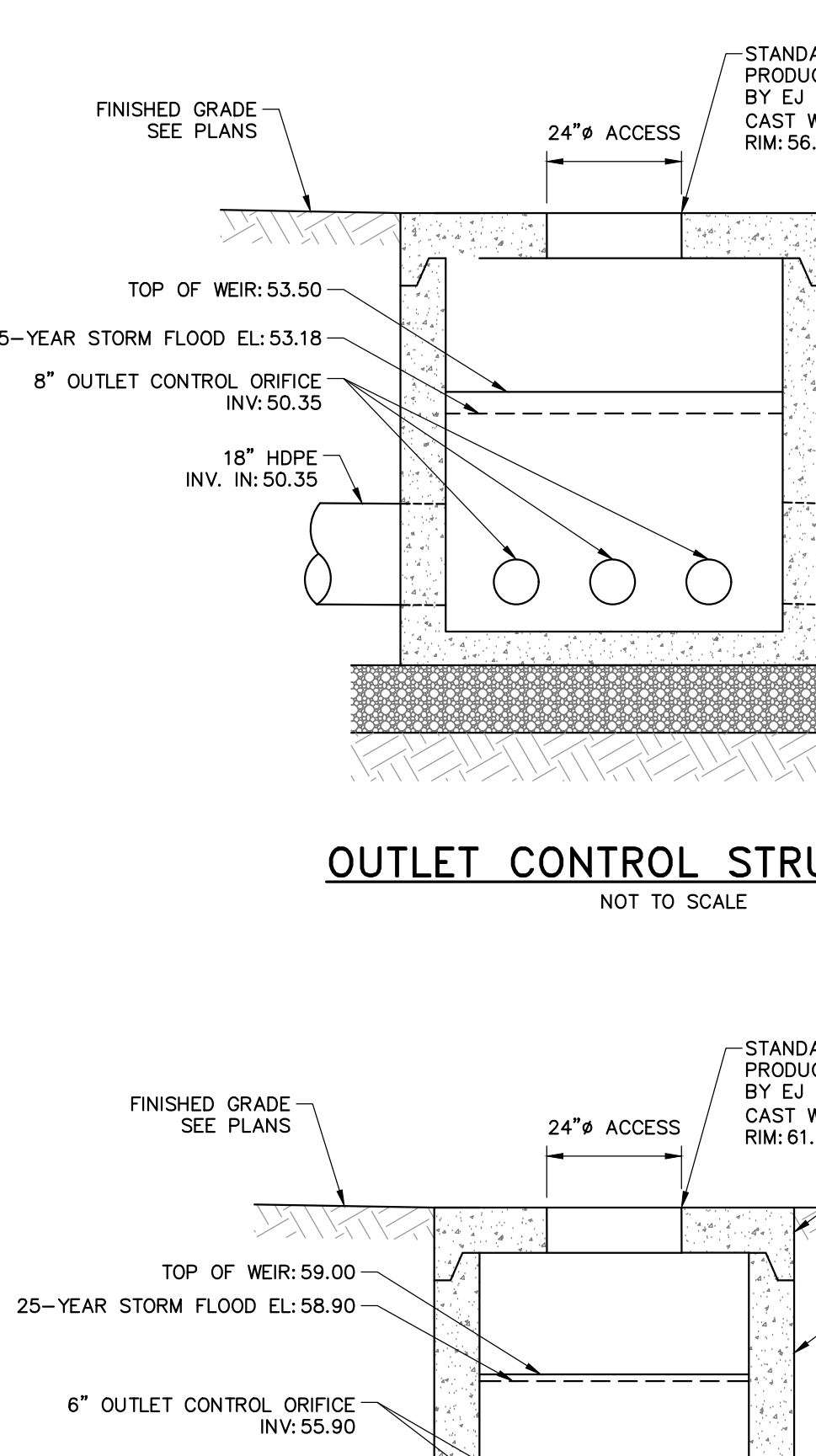
MC-SERIES END CAP INSERTION DETAIL



MC-3500 CROSS SECTION DETAIL

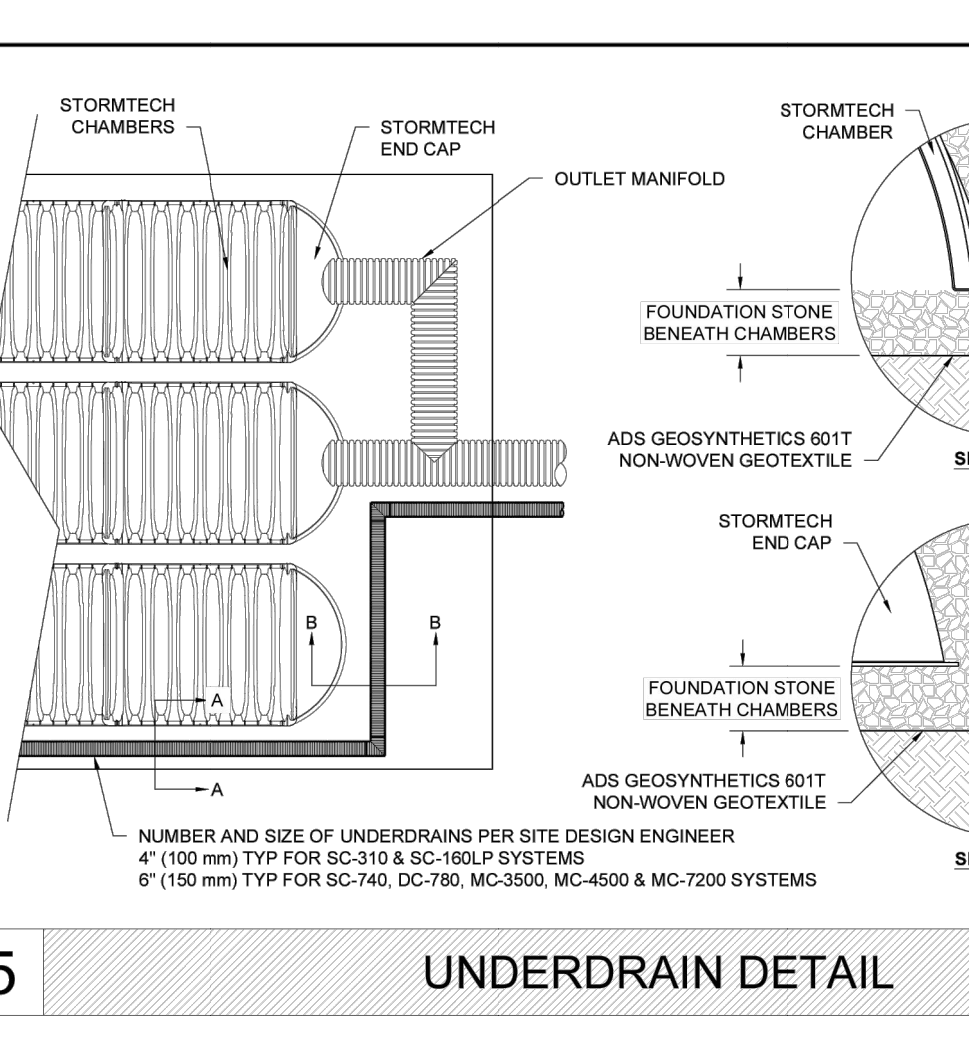


STORMTECH MC3500
NOT TO SCALE



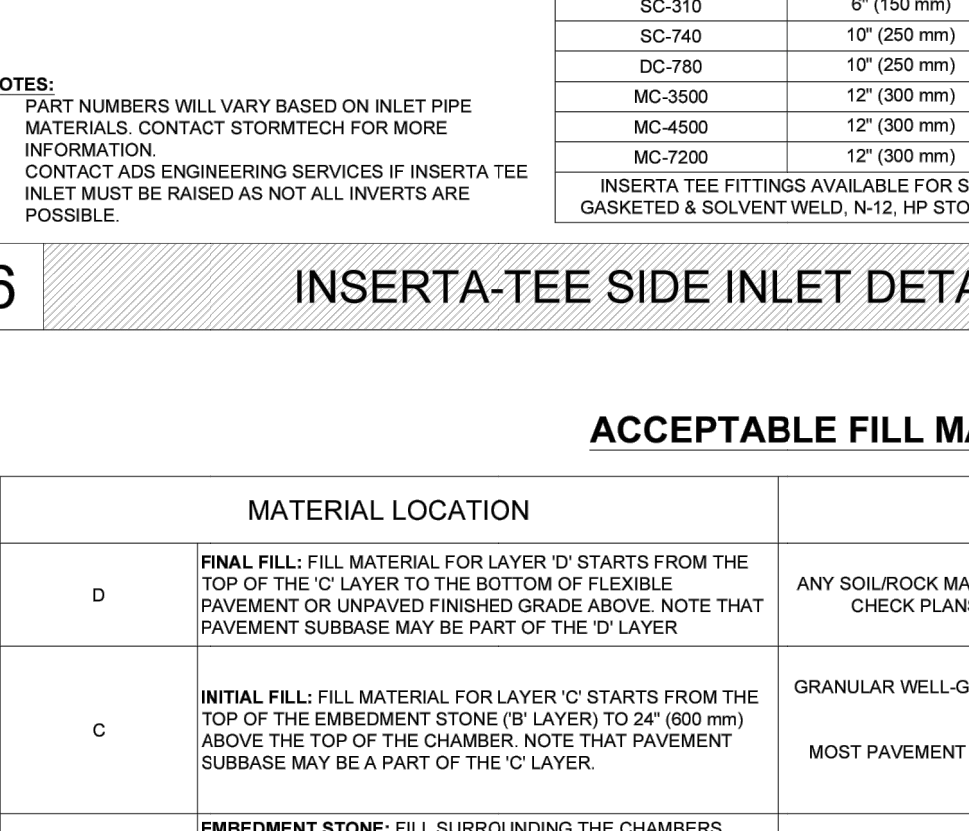
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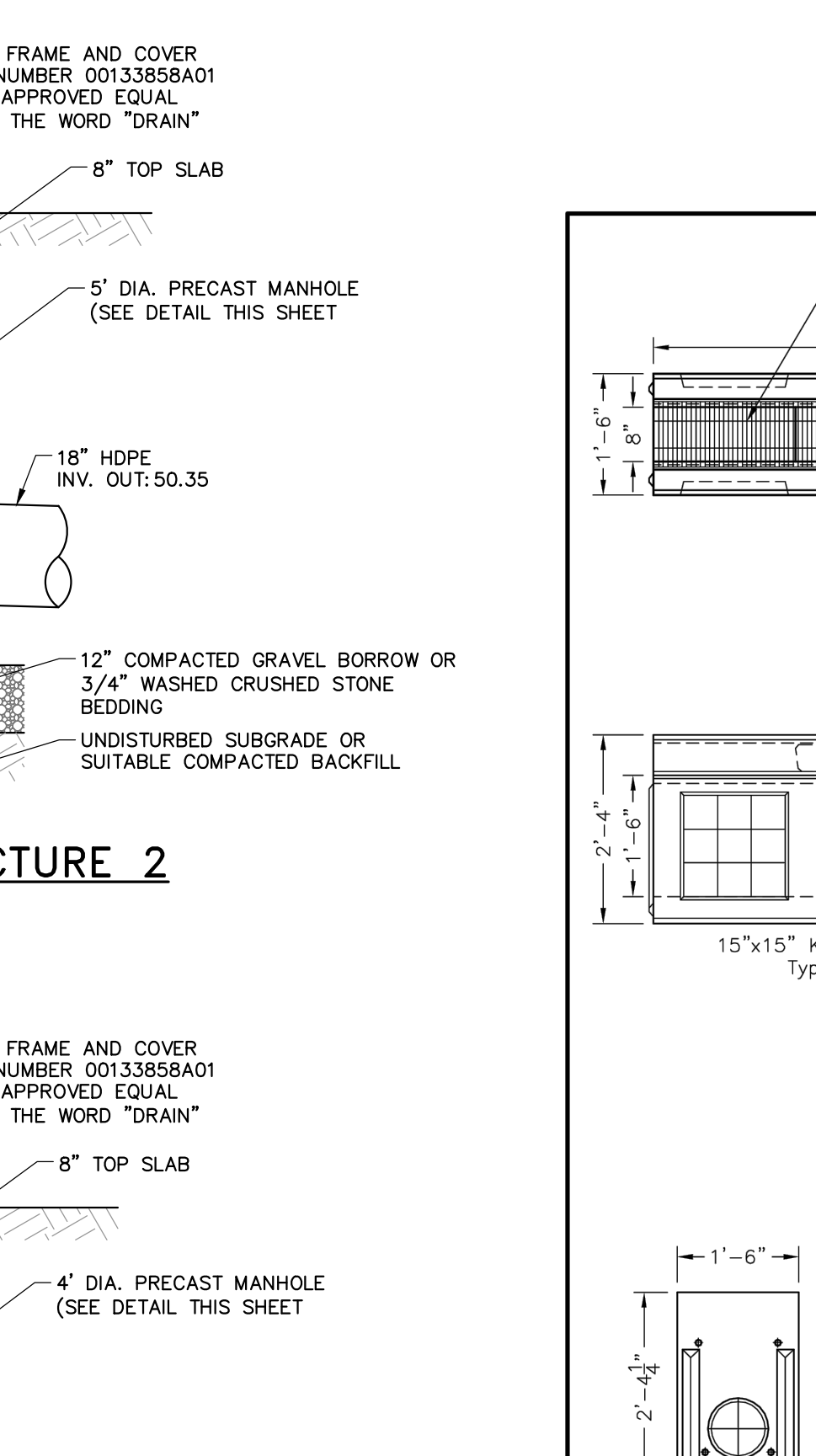


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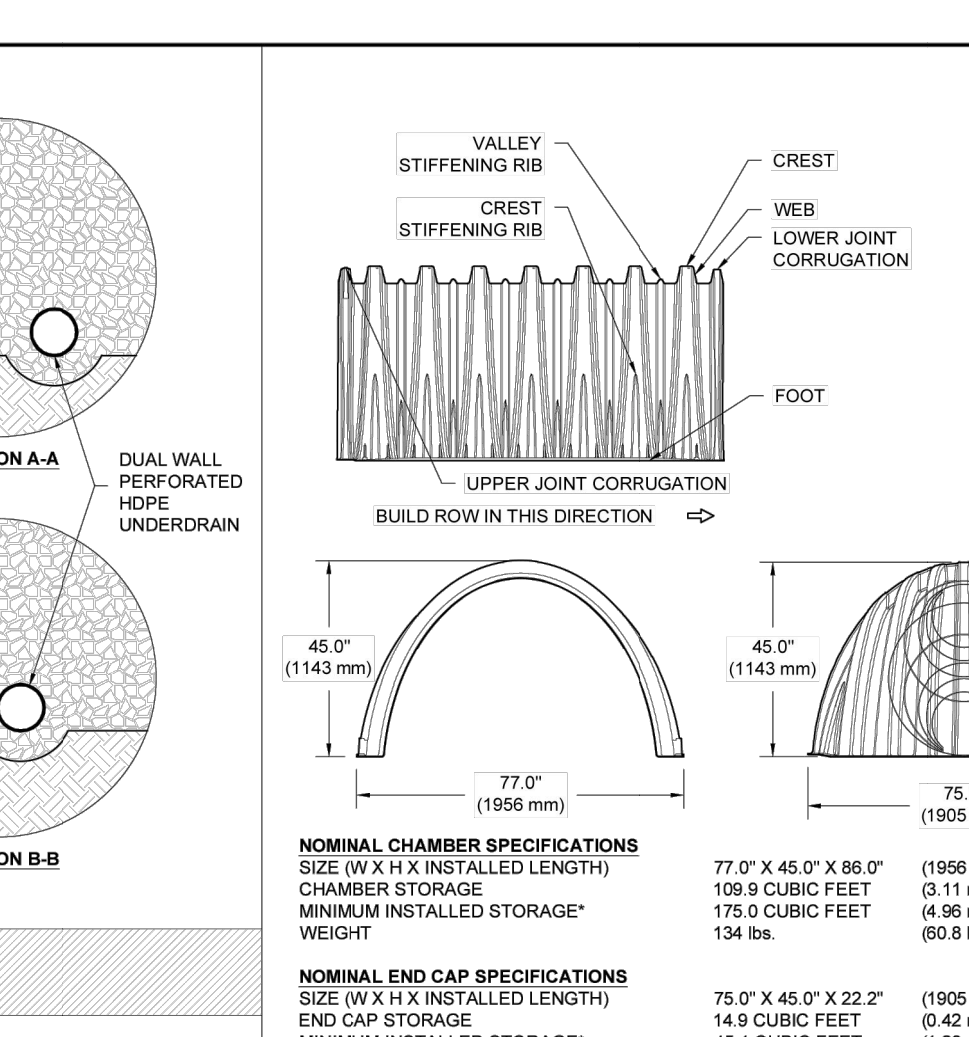


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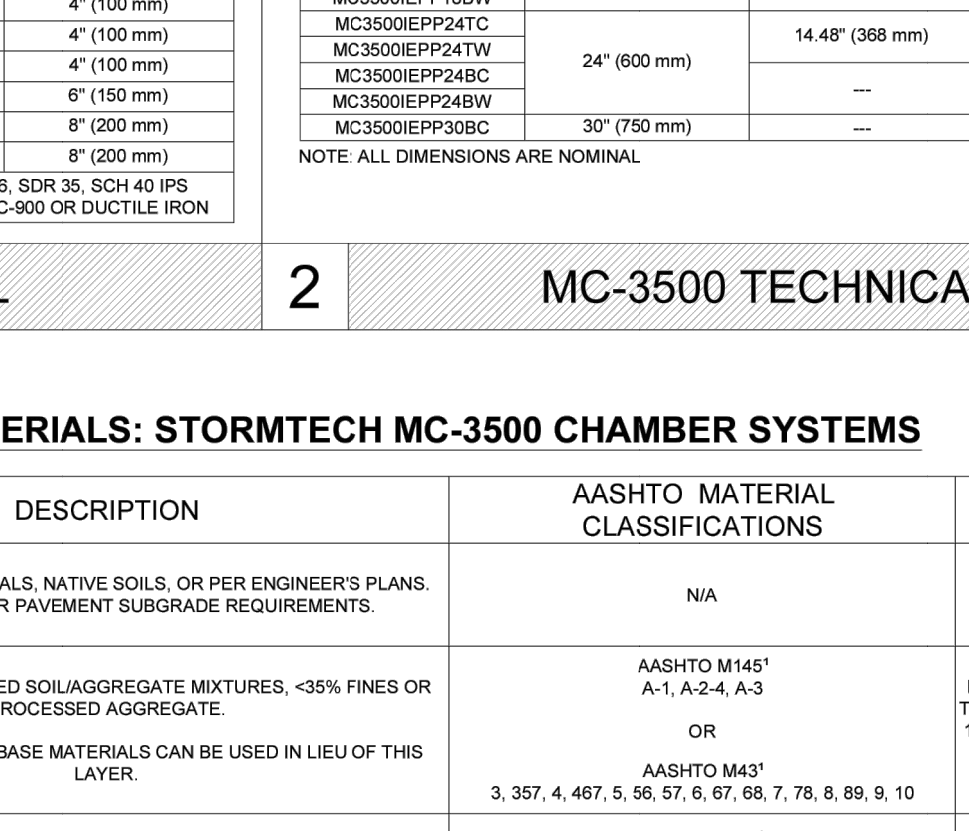
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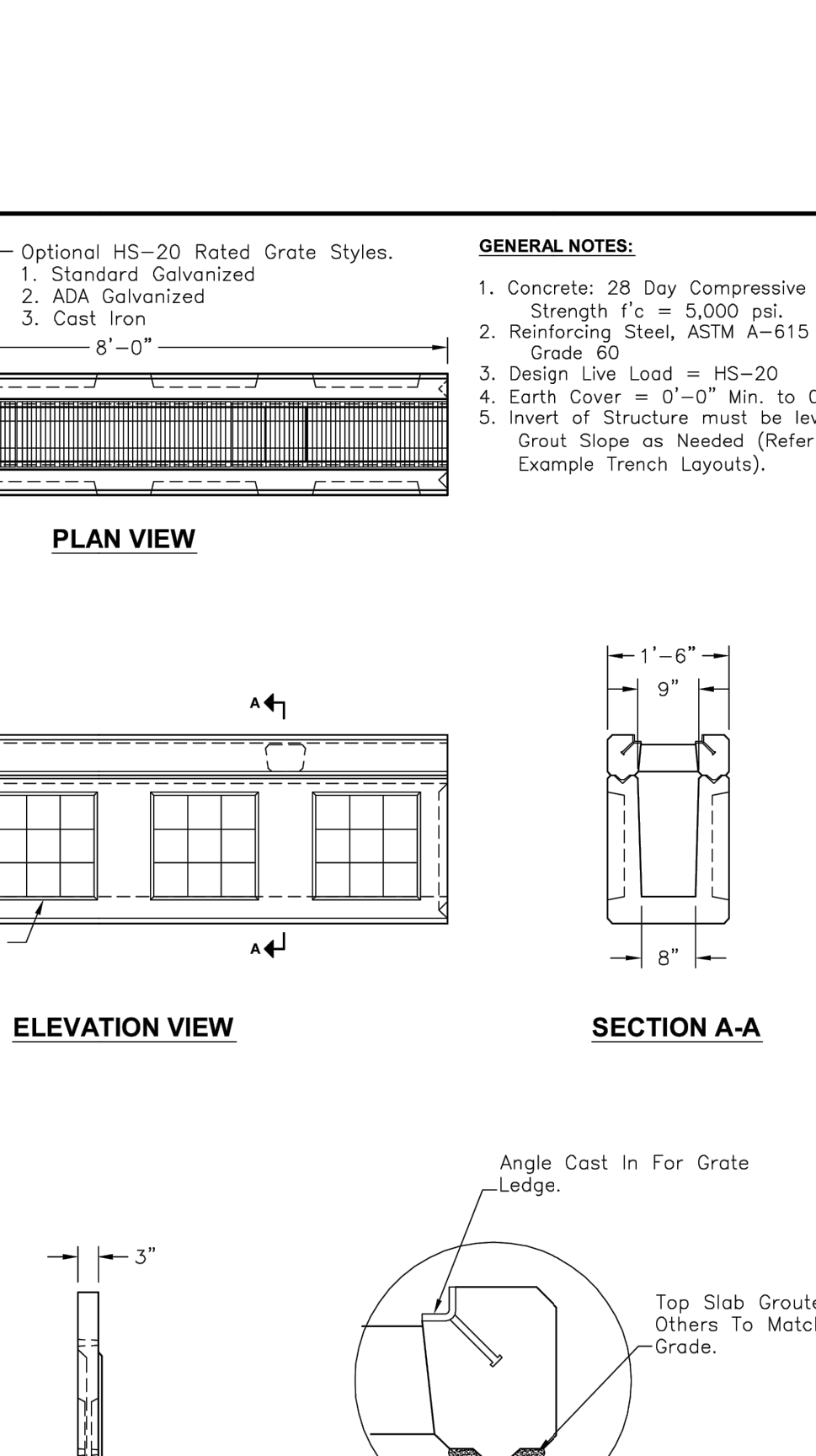


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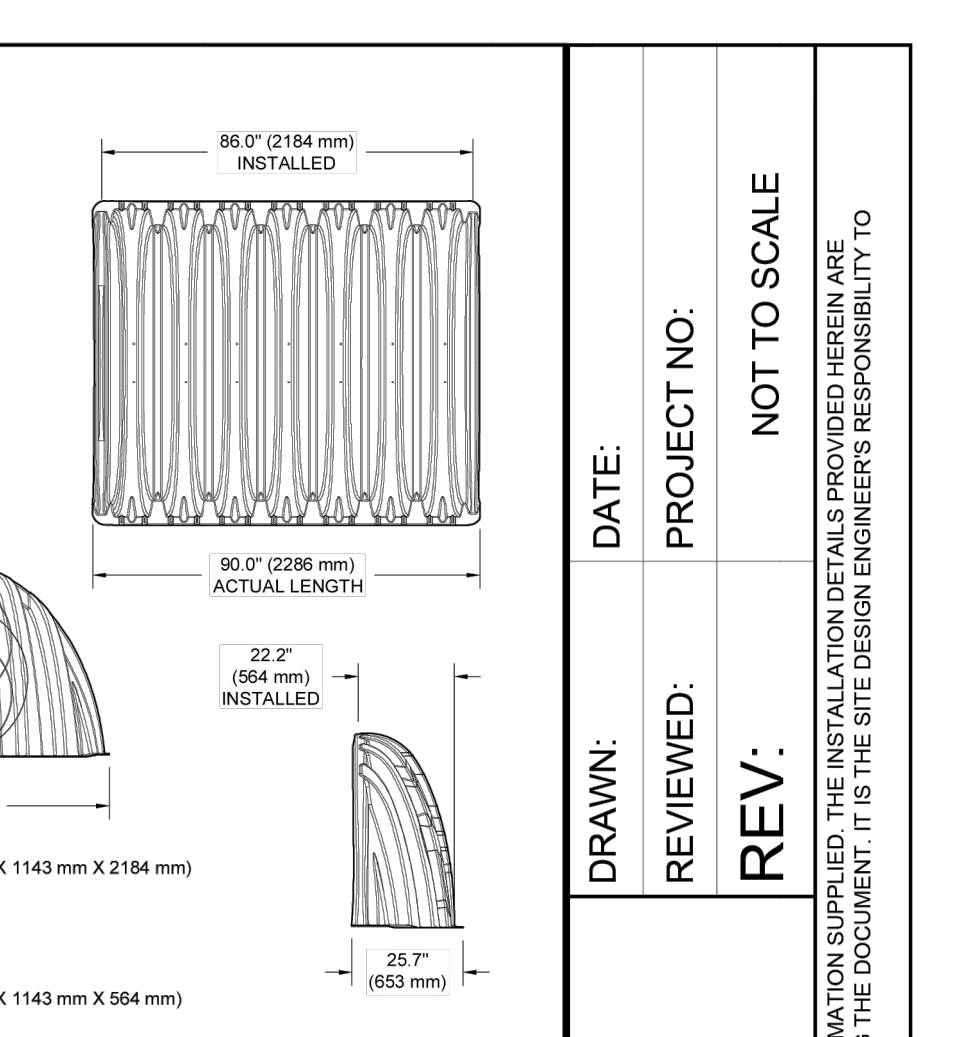


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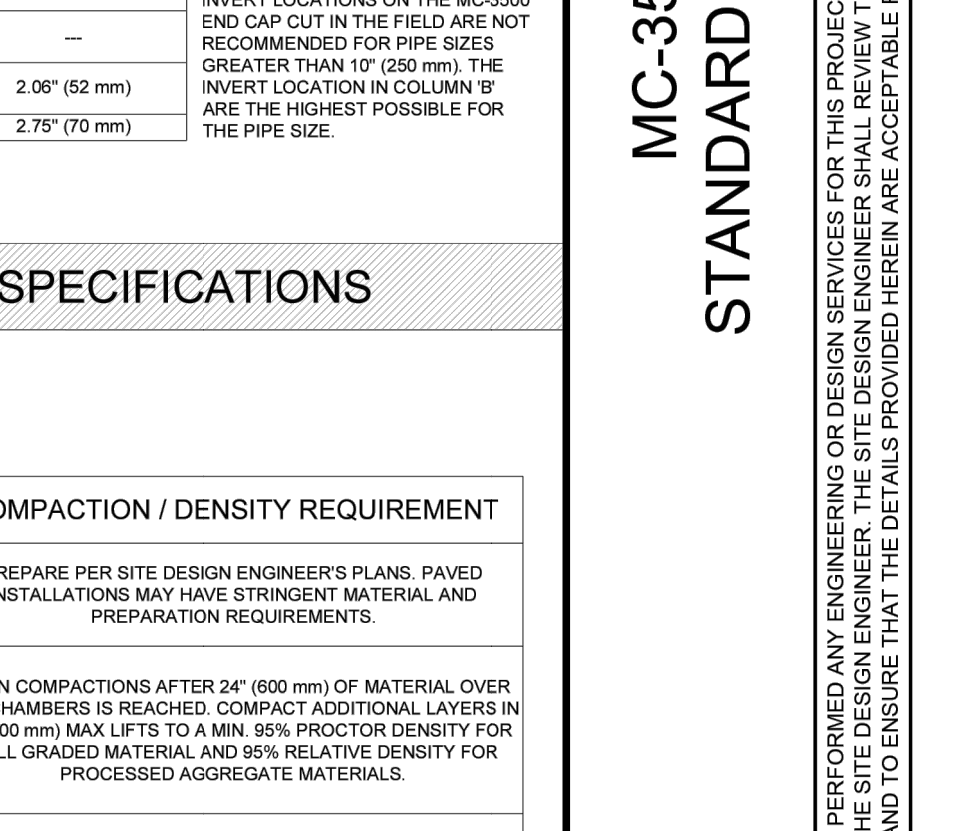
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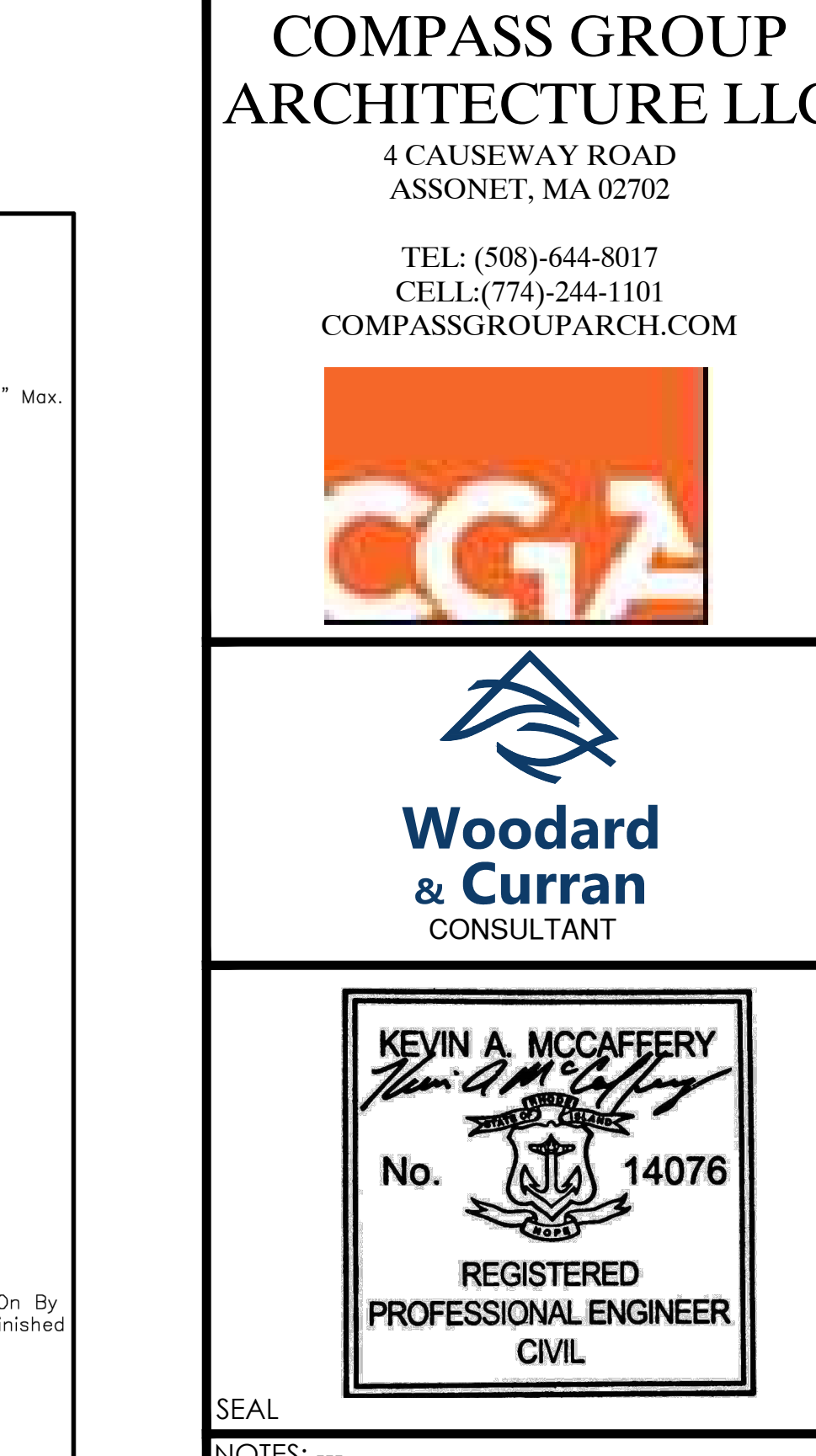


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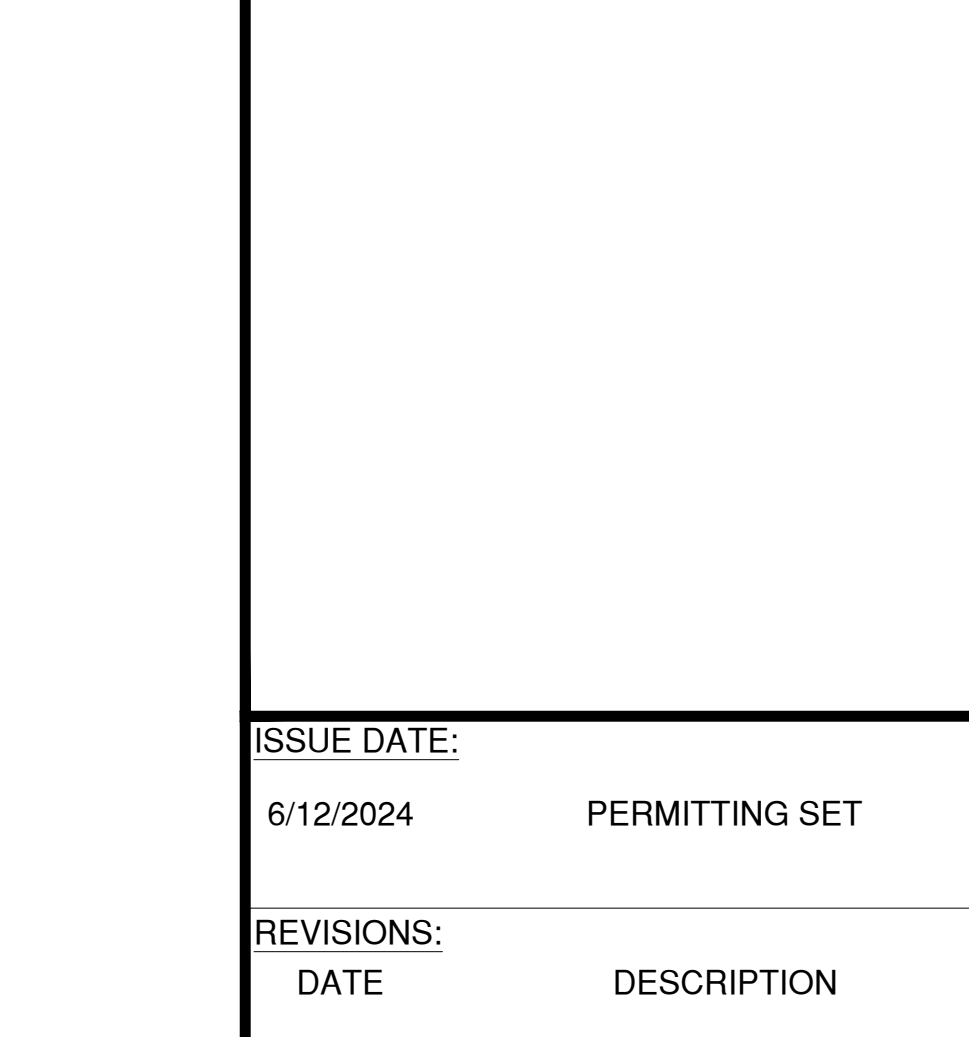


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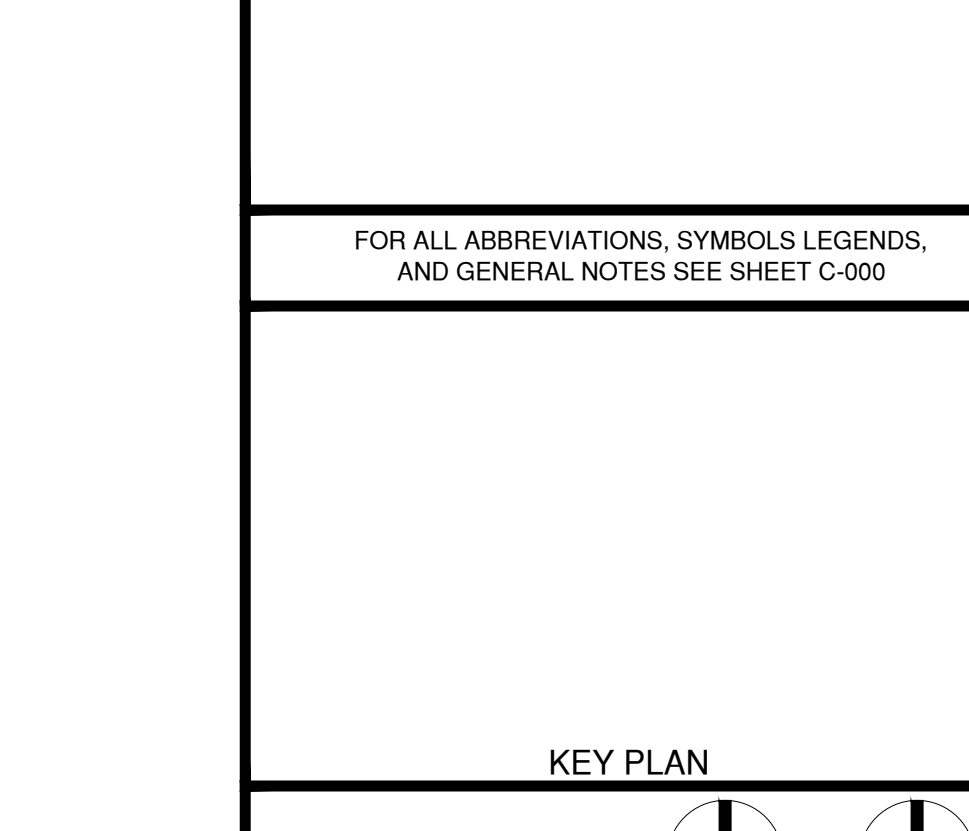
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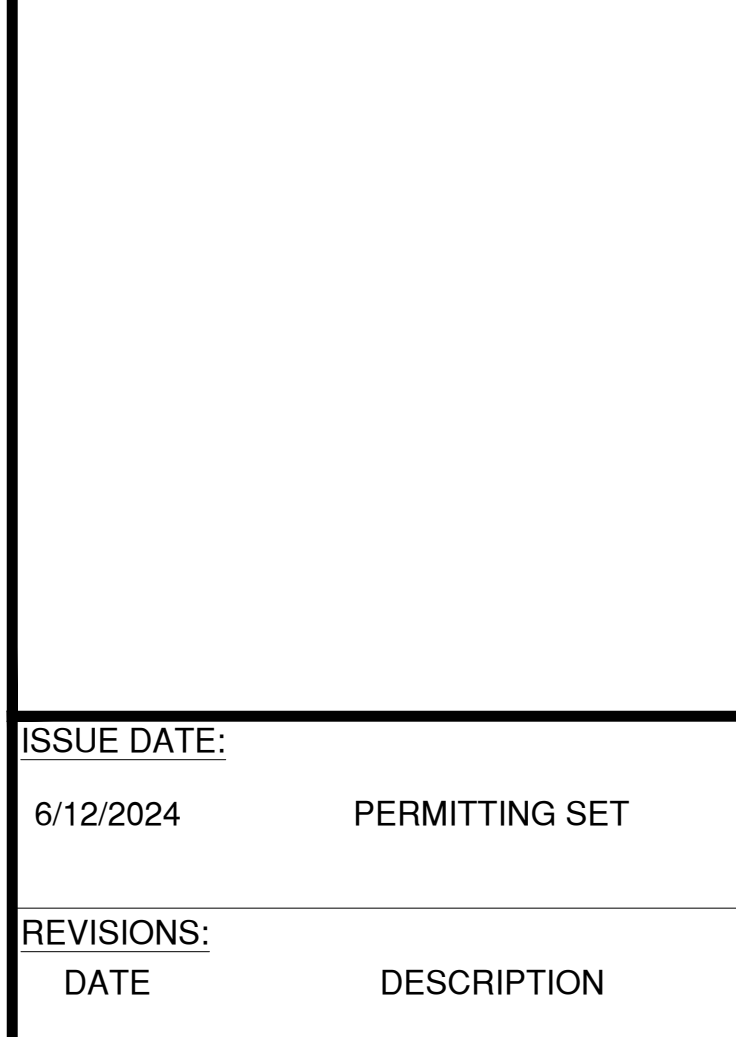


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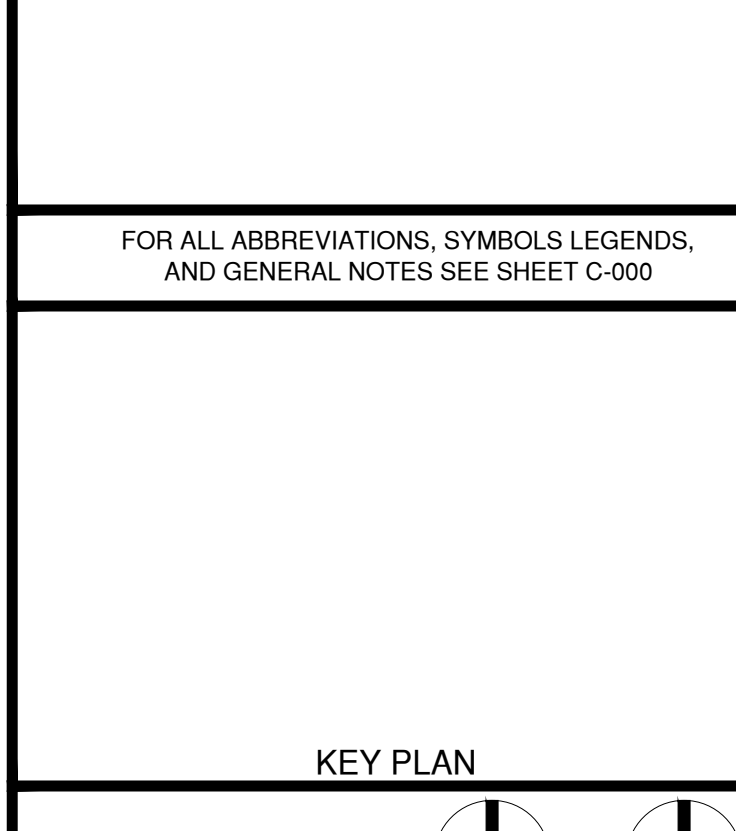
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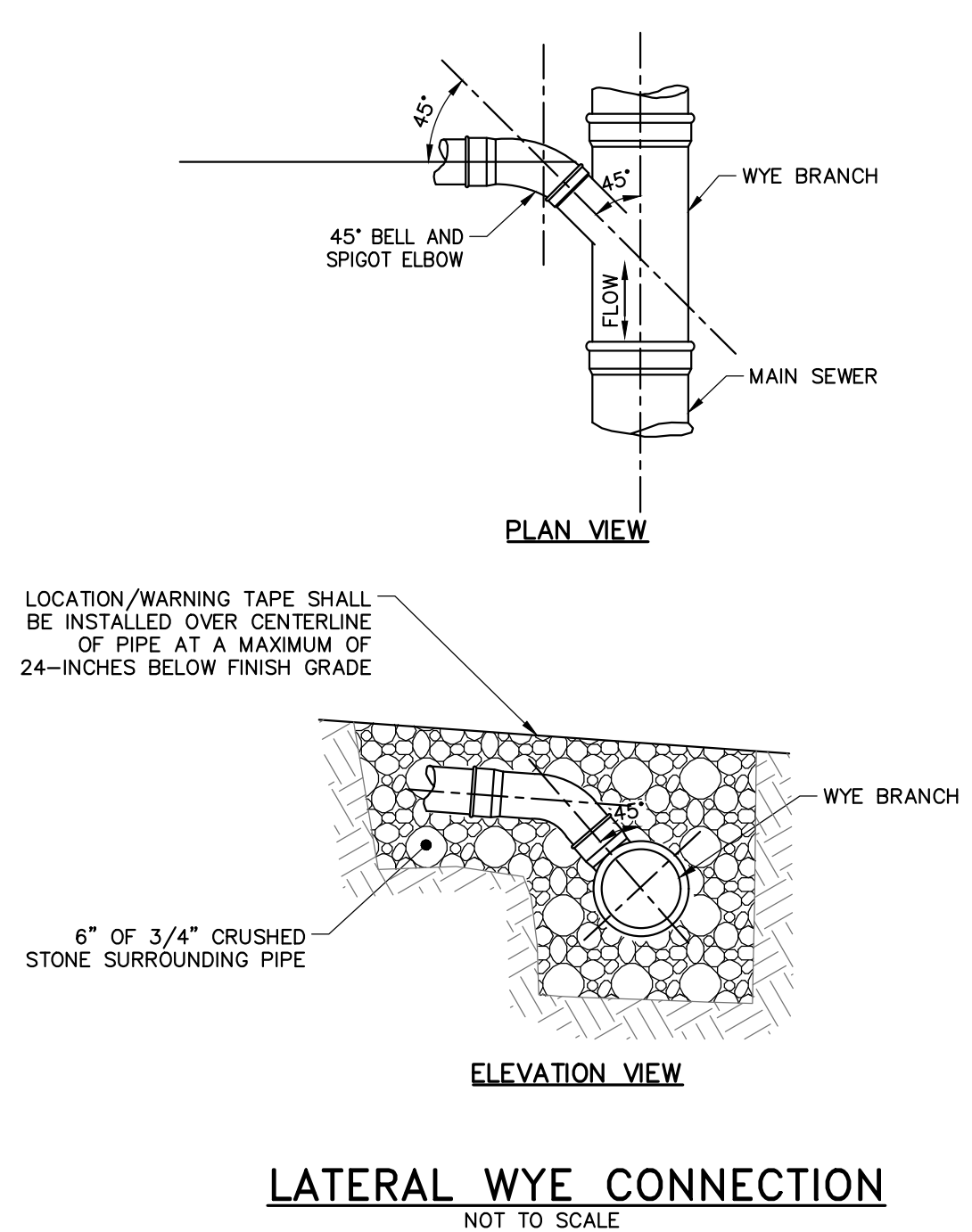
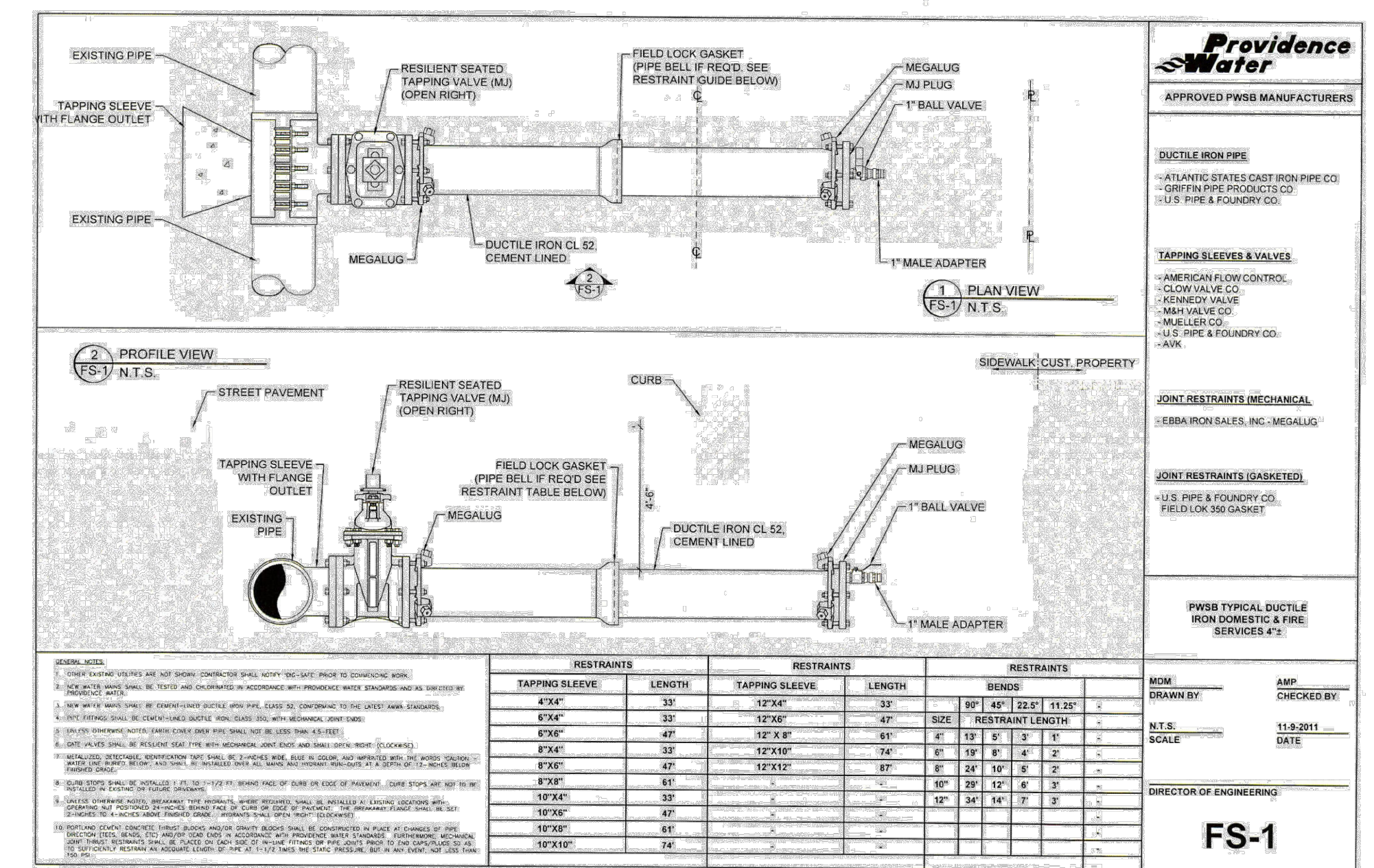
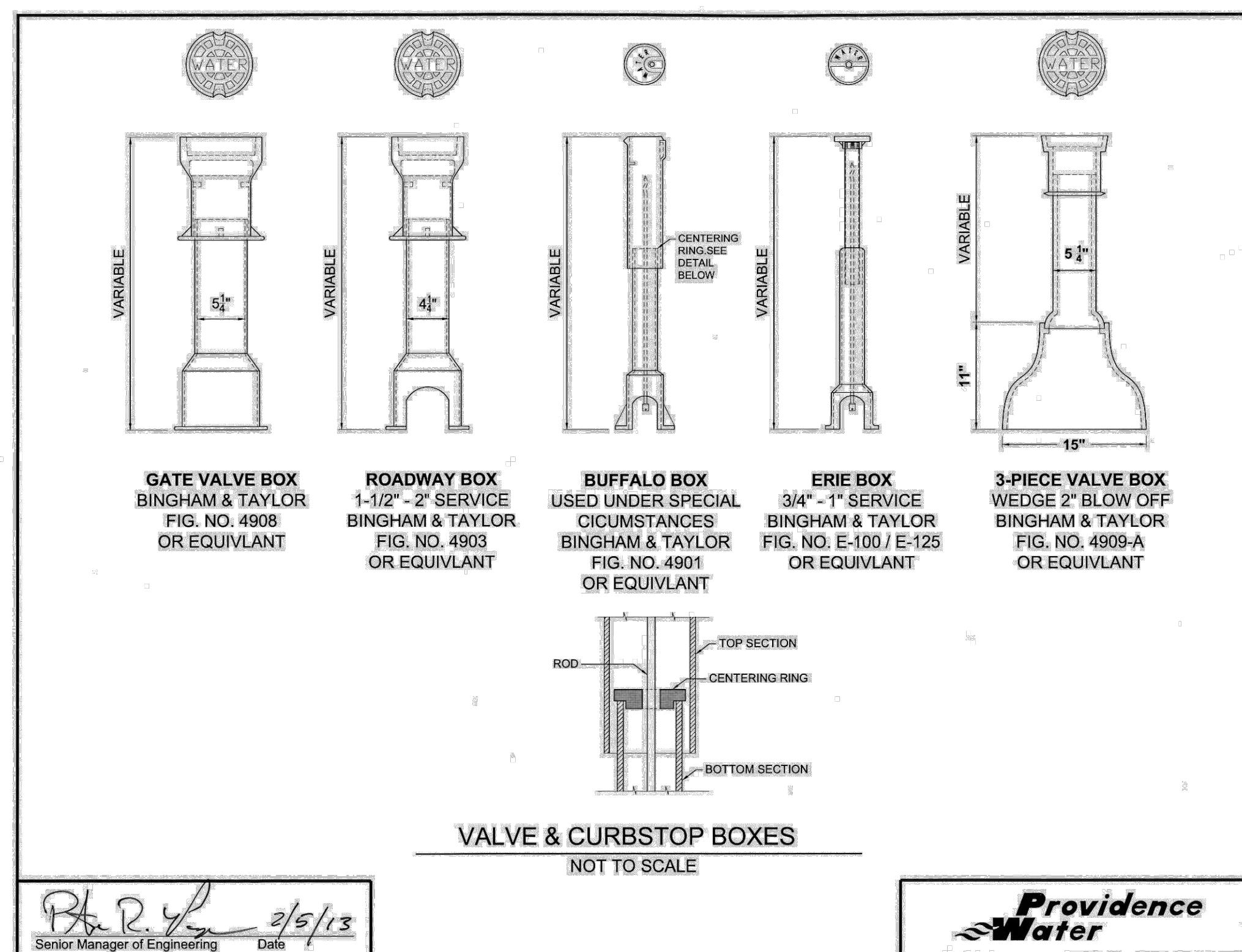
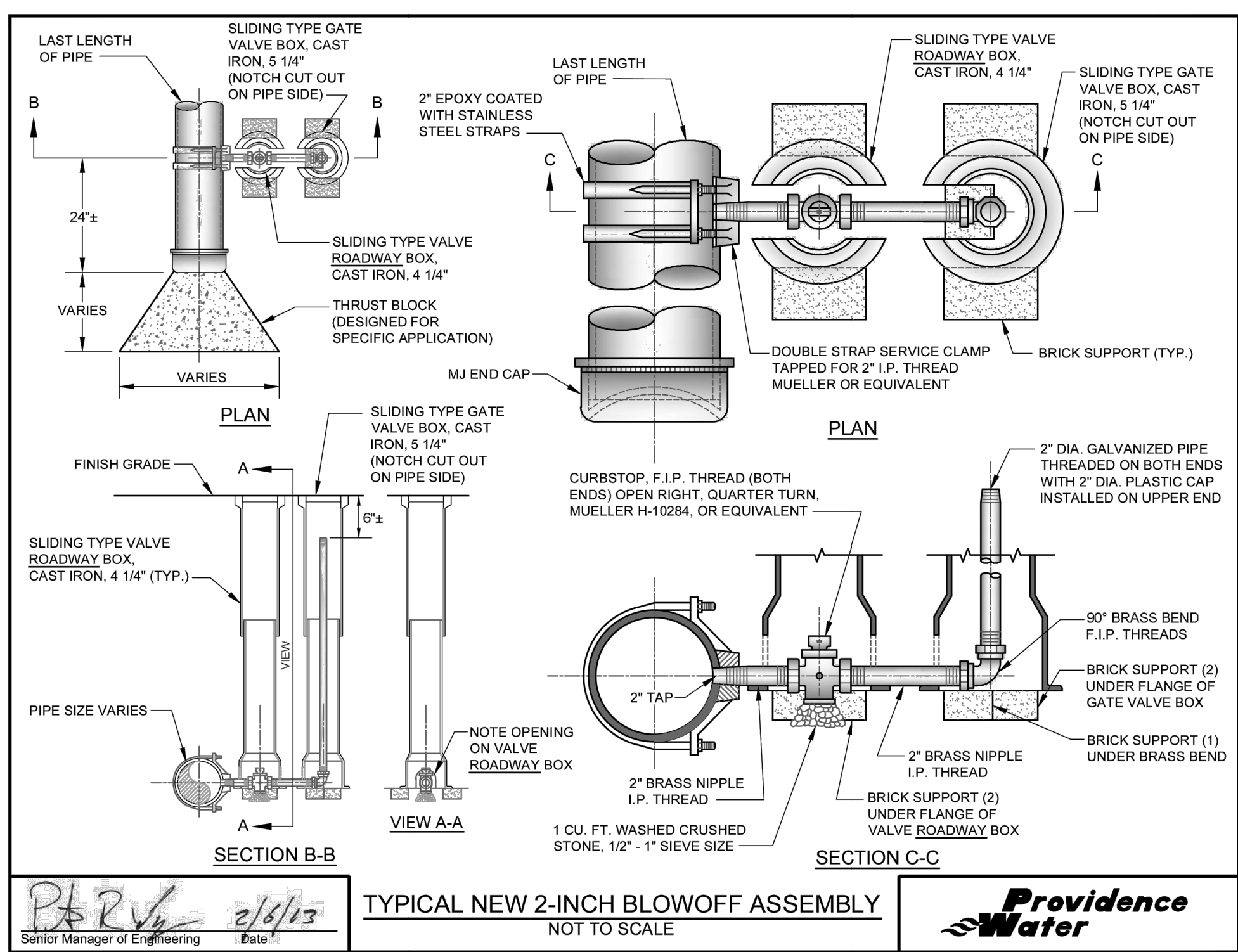
STORMTECH MC3500
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SEAL

NOTES: ---

ISSUE DATE:
6/12/2024 PERMITTING SET

REVISIONS:
DATE DESCRIPTION

FOR ALL ABBREVIATIONS, SYMBOLS LEGENDS, AND GENERAL NOTES SEE SHEET C-000

KEY PLAN

SCALE: AS NOTED
PLAN NORTH
TRUE NORTH



NEW INDUSTRIAL MANUFACTURING AND WAREHOUSING FACILITY FOR TACO COMFORT SOLUTIONS, INC.
35 CARLSBAD STREET, CRANSTON, RI 02920

PROJECT NUMBER: 2022-077
DRAWN BY: KCC
REVIEWED BY: CG
CIVIL DETAILS 3



KEYED SHEET NOTES	
1	1,000KVA 480V TO 4,160V STEP-UP DRY-TYPE TRANSFORMER ON CONCRETE PAD. TRANSFORMER SHALL HAVE NEMA 3R (WEATHERPROOF) ENCLOSURE PER NEC 450.22. TRANSFORMER ENCLOSURE SHALL COMPLY WITH NEC 110.31(D). ENCLOSED EQUIPMENT ACCESSIBLE TO UNQUALIFIED PERSONS: LOCATION OF SECONDARY AND PRIMARY SIDE REMOTE DISCONNECTS SHALL BE FIELD MARKED ON TRANSFORMER PER NEC 450.14. REFER TO CAROLINA STREET SERVICE ONE-LINE DIAGRAM FOR ADDITIONAL INFORMATION.
2	WORKING CLEARANCE SHALL BE PROVIDED PER NEC 110.34(A) PROVIDE 12' OF CLEARANCE MINIMUM AROUND SIDES AND REAR OF DRY-TYPE TRANSFORMER FOR VENTILATION. CONFIRM EXACT CLEARANCE REQUIRED WITH MANUFACTURER.

NOTES: ---

ISSUE DATE:
03/27/2024 CIVIL PERMITTING SET

REVISIONS:	DESCRIPTION
DATE	

Progress Set
NOT FOR CONSTRUCTION
Jun 05, 2024

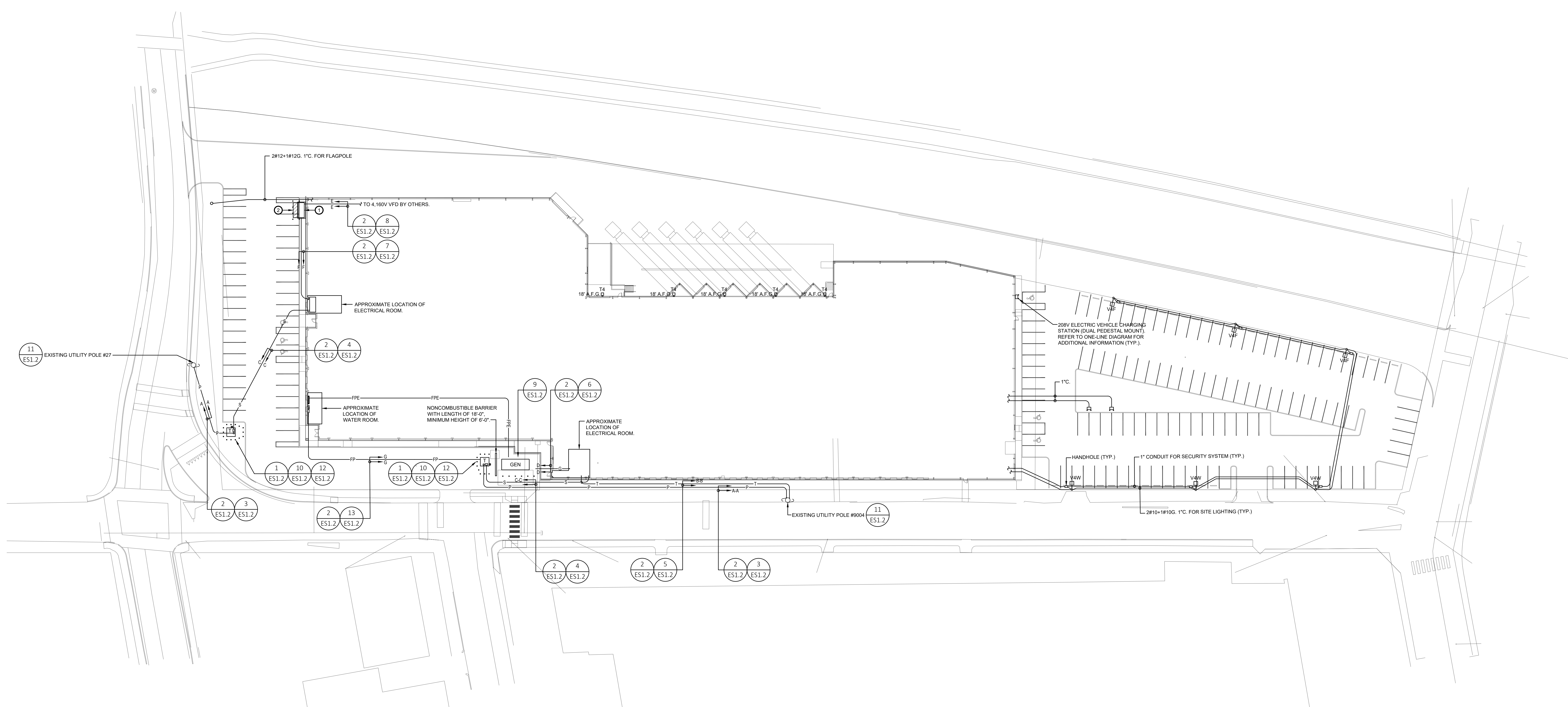
KEY PLAN
SCALE: AS NOTED
NORTH TRUE NORTH

NEW MANUFACTURING AND WAREHOUSING FACILITY FOR TACO COMFORT SOLUTIONS, INC.
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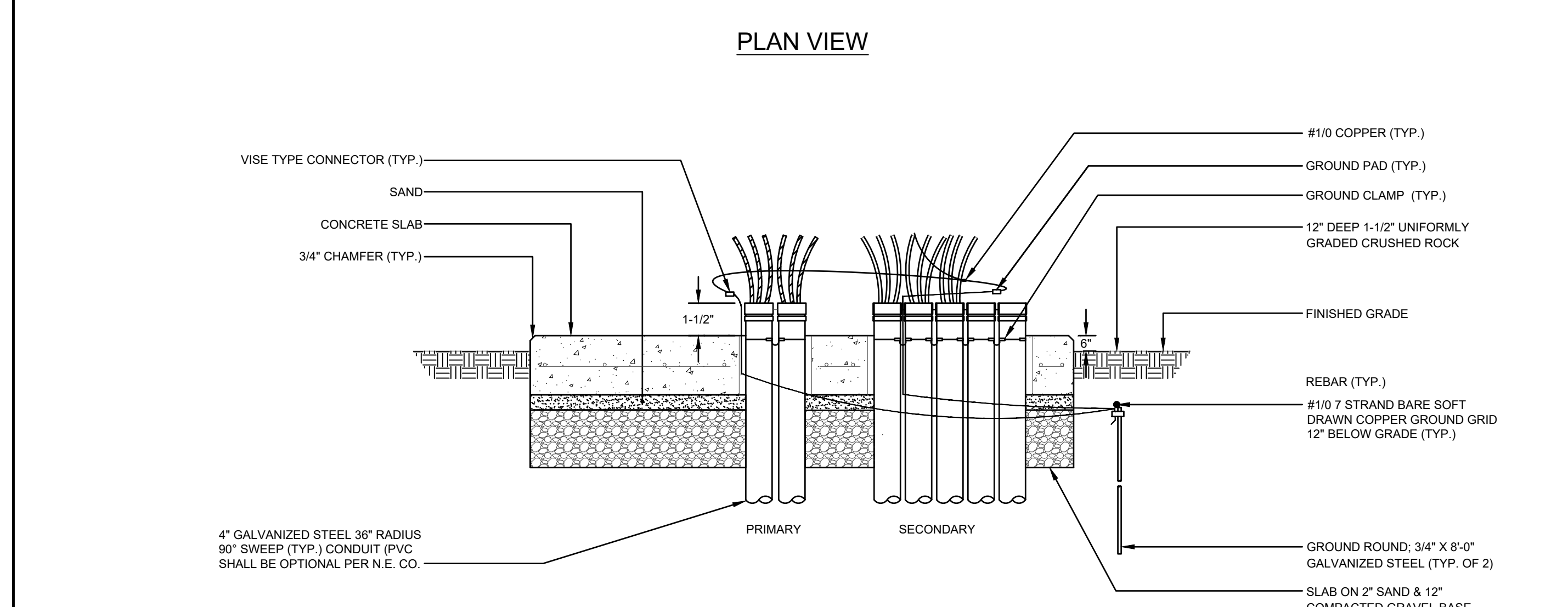
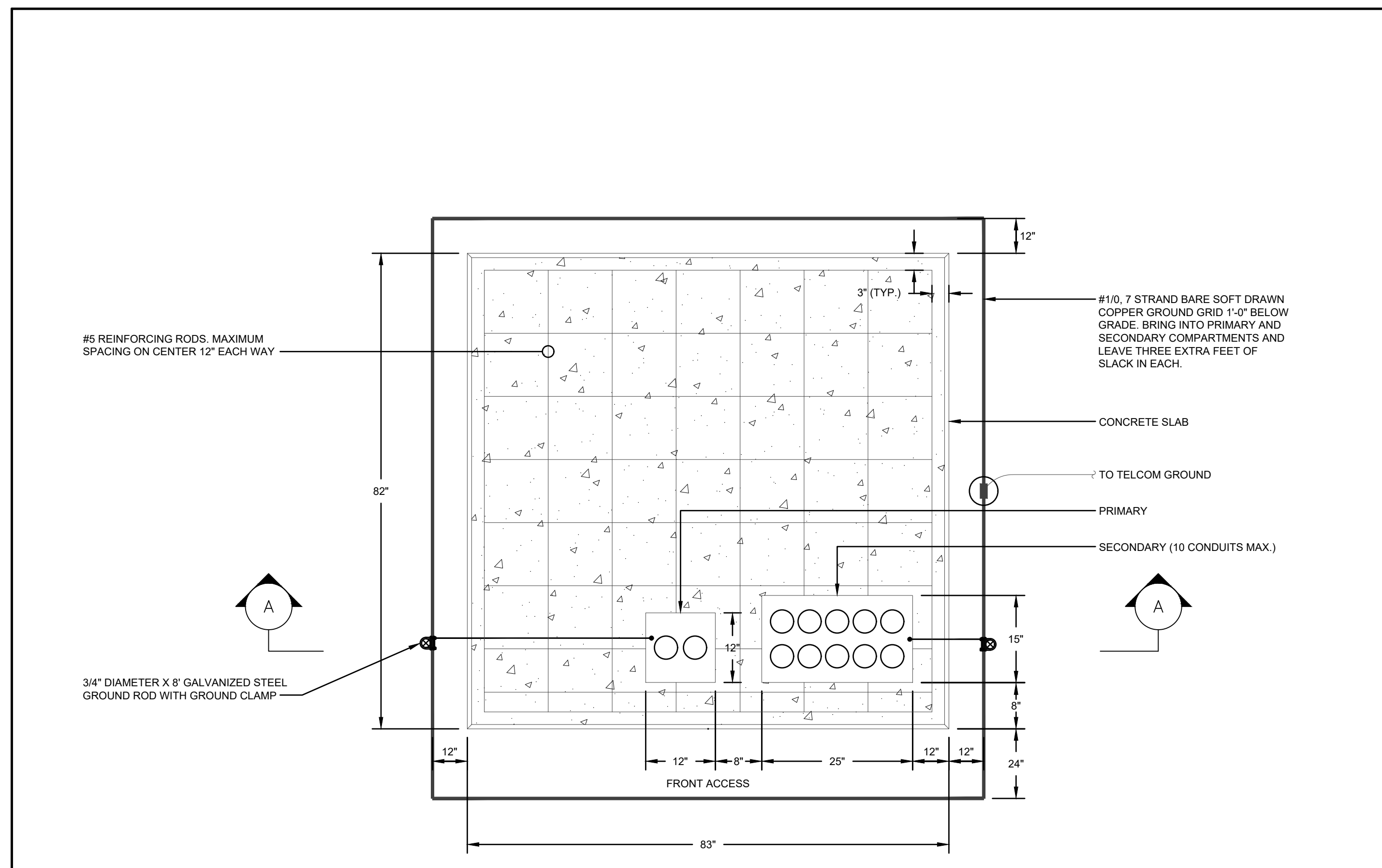
PROJECT NUMBER: 2022-033
DRAWN BY: NG
REVIEWED BY: DC

NEW ELECTRICAL SITE PLAN

DRAWING #: **ES1.1**

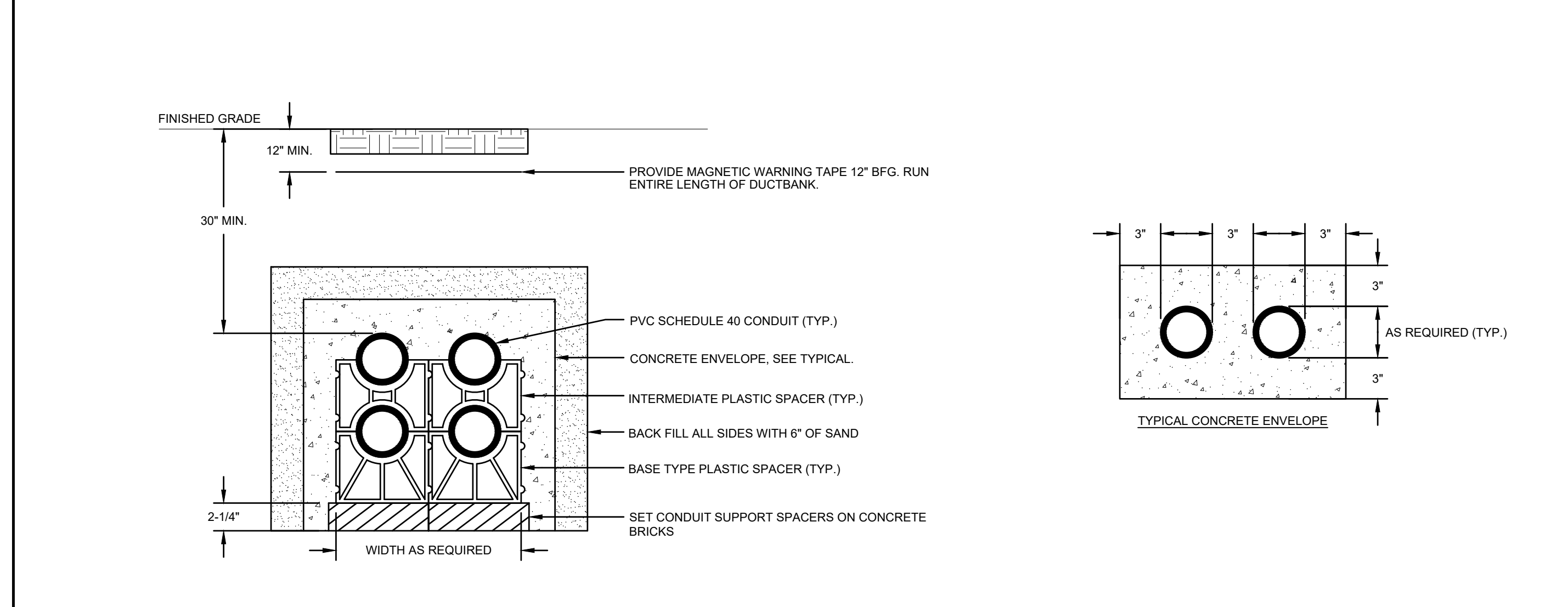


1 NEW ELECTRICAL SITE PLAN
SCALE: 1"= 30'-0"



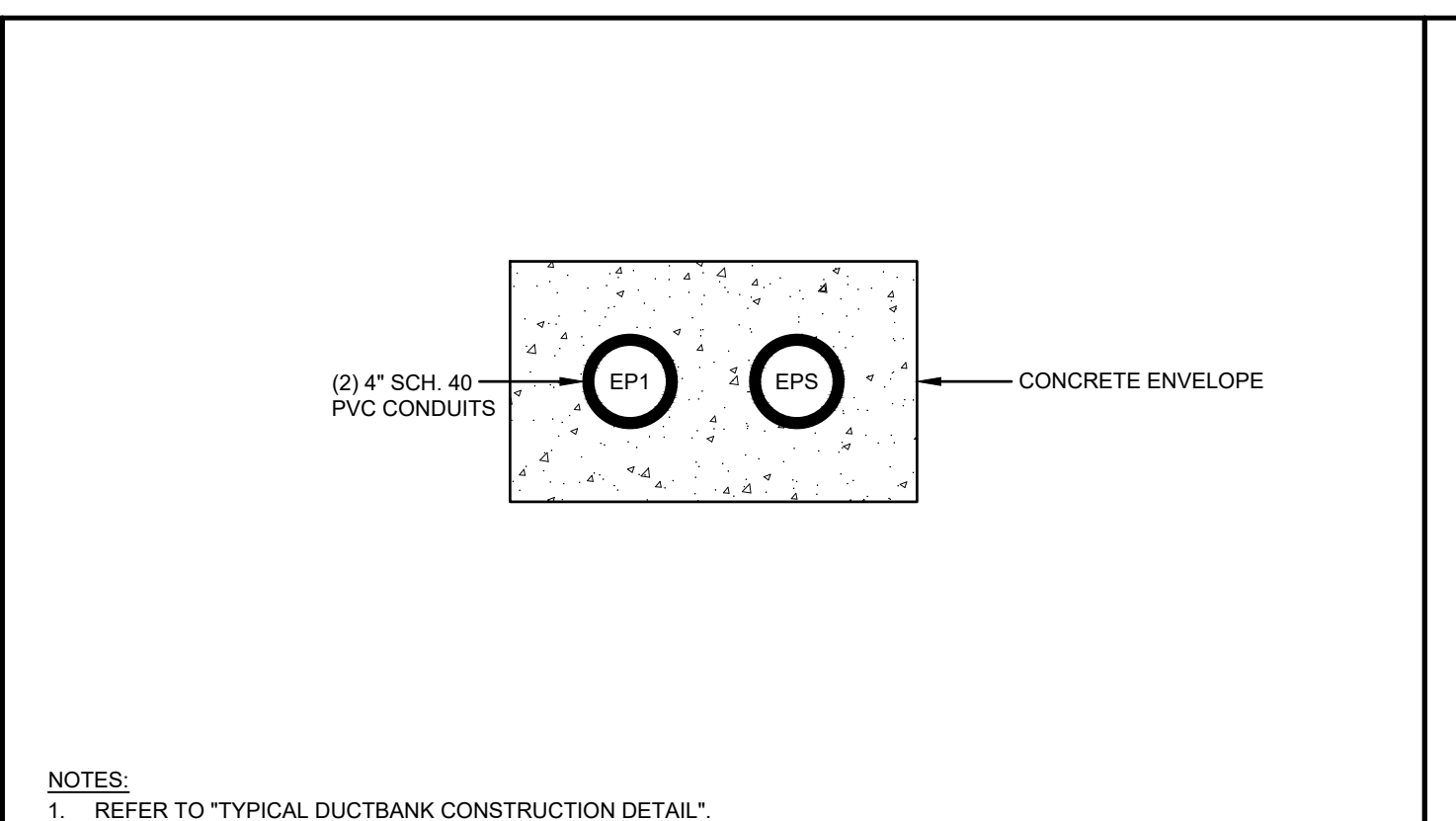
- NOTES:**
- INSTALL CONDUITS AS INDICATED ON THE SITE PLAN AND ONE-LINE DIAGRAM BEFORE SLAB IS POURED. USE 36" RADIUS BENDS, WITH COUPLINGS, NIPPLES AND BUSHINGS AS REQUIRED. BENDS FOR PRIMARY CABLES SHALL BE GALVANIZED STEEL. TERMINATIONS AND BUSHINGS SHALL BE INSTALLED AFTER THE TRANSFORMER IS PLACED, AND BEFORE THE CABLES ARE PULLED.
 - INSTALL #10 7 STRAND BARE SOFT DRAWN COPPER WIRE LOOP 1'-0" BELOW GRADE. BOND TO ALL EXPOSED METALLIC CONDUIT AND LEAVE 3'-0" OF WIRE ABOVE PAD FOR GROUNDING TRANSFORMER AT TWO OPPOSITE POINTS IN THE CABLE CONDUIT OPENINGS. INSTALL TWO #4 GALVANIZED STEEL (D4) GROUND RODS AND APPROVED CONNECTORS BELOW GROUND. LEAVE GROUND GRID EXPOSED UNTIL INSPECTED BY THE UTILITY COMPANY. CONNECTIONS TO GROUND GRID TO BE MADE PER UTILITY COMPANY REQUIREMENTS. EXOTHERMIC WELDING (CALDWELL'S) SHALL BE AN ACCEPTABLE ALTERNATE TO COMPRESSION BOLTED CONNECTIONS.
 - CRUSHED ROCK, GRAVEL AND SAND SHALL BE PLACED PER UTILITY COMPANY STANDARDS. THE GRAVEL BEING THOROUGHLY COMPACTED, AND THE SAND THOROUGHLY WETTED, JUST BEFORE PLACING THE CONCRETE.
 - INSTALL CONCRETE SLAB IN ACCORDANCE WITH UTILITY COMPANY STANDARDS. ALL EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
 - REINFORCING RODS TO BE #5 AND SHALL CONFORM TO UTILITY COMPANY STANDARDS. REINFORCING RODS TO BE LOCATED IN CENTER OF THE SLAB, 12" ON CENTER MINIMUM, WITH A MINIMUM OF 3" CLEARANCE FROM FACE OF CONCRETE.
 - UPON COMPLETION OF THE SLAB AND THE INSTALLATION OF CONDUIT, FILL THE OPEN AREA AROUND THE CONDUITS WITH CONCRETE AND GROUT AROUND THE CONDUIT TO SEAL THIS AREA.
 - MANHOLE COMPLETED DUCTS BY FILLING THROUGH AN APPROVED FLEXIBLE MANHOLE, NO LESS THAN 1/4" SMALLER DIAMETER THAN THE INSIDE DIAMETER OF THE DUCT. 2,000 LB FILLING TAPE SHALL BE LEFT IN ALL THE DUCTS, INCLUDING LATERALS.
 - PROVIDE PHYSICAL PROTECTION FOR TRANSFORMER VIA CONCRETE FILLED BOLLARDS 9" ABOVE GRADE, 4" BELOW GRADE. LOCATE BOLLARDS IN ACCORDANCE WITH UTILITY COMPANY STANDARDS.
 - THIS DETAIL IS FOR BIDDING PURPOSES ONLY. CONFORM TO UTILITY COMPANY DETAILS.

1 TRANSFORMER PAD (750-2500kVA) DETAIL NTS

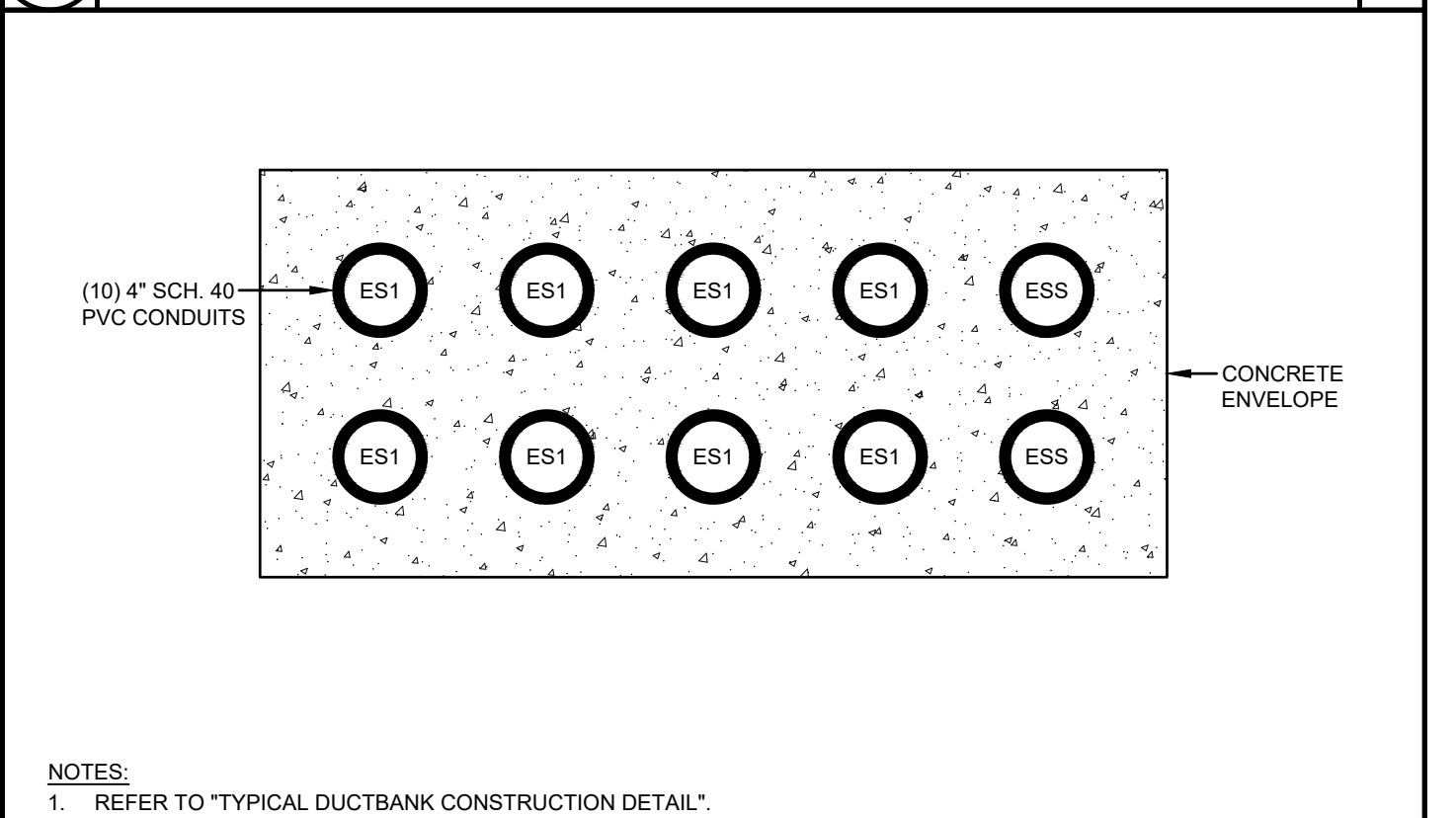


- NOTES:**
- PRIOR TO INSTALLATION AND BACKFILL THE DUCTBANK CROSS SECTION AND TRENCH MUST BE COORDINATED, INSPECTED, AND APPROVED BY THE UTILITY COMPANY.
 - ALL TRENCHING, CONCRETE WORK, BACKFILLING, GRADING, AND RESURFACING SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.
 - ALL SWEEPERS FOR CONDUIT AND RISER SHALL BE RIGID STEEL CONDUIT WITH A MINIMUM RADIUS OF 3'-0".
 - DIRECT BURIED CONDUIT SHALL BE INSTALLED TO MEET THE MINIMUM COVER REQUIREMENTS OF NEC TABLE 300.5 AND 300.50.
 - THERE SHALL NOT BE MORE THAN THE EQUIVALENT OF FOUR 90° BENDS (90° TOTAL) BETWEEN PULL POINTS (NEC 300.20). BEND RADIUS SHALL NOT BE LESS THAN SHOWN IN TABLE 3, CHAPTER 9 OF THE NEC.
 - MINIMUM PITCH OF CONDUITS SHALL BE 3" PER ONE 100'-0" RITCH OF DUCTS SHALL CAUSE ALL DUCTS TO DRAIN TOWARD ONE END OR BOTH EQUIPMENT FOUNDATIONS OR PULL BOXES.
 - ALL BASE AND INTERMEDIATE PLASTIC SPACERS SHALL BE INTERLOCKING TYPE, CONSTRUCTED OF HIGH IMPACT PVC. SPACERS SHALL BE INSTALLED A MAXIMUM OF 5'-0" APART ALONG ENTIRE LENGTH OF RUN.
 - ELECTRIC UTILITY DUCTBANK SHALL NOT SHARE A CONCRETE ENCASMENT WITH FOREBORN UTILITIES. ELECTRIC UTILITY CONDUIT SHALL NOT BE DIRECTLY ABOVE OR BELOW TELECOMMUNICATION CONDUIT OR WATER, GAS, AND SEWER UTILITIES EXCEPT WHEN CROSSING AT APPROXIMATELY RIGHT ANGLES WHERE THE PATHS OF THESE UTILITIES CROSS. TELECOMMUNICATIONS CONDUIT SHALL BE SEPARATED BY A MINIMUM OF 3" OF CONCRETE AND THE MINIMUM VERTICAL SEPARATION OF WATER, GAS, AND SEWER UTILITIES SHALL BE 12". A MINIMUM SEPARATION OF 12" SHALL BE MAINTAINED WHEN TELECOMMUNICATIONS CONDUIT RUNS PARALLEL TO ELECTRIC UTILITY CONDUIT. A MINIMUM SEPARATION OF 24" SHALL BE MAINTAINED WHEN WATER, GAS, AND SEWER UTILITIES RUN PARALLEL TO ELECTRIC UTILITY CONDUIT.
 - ELECTRICAL CONTRACTOR SHALL MANHOLE ALL PRIMARY CONDUITS TO ENSURE THEIR INTEGRITY AND PROVIDE PULL ROPE IN EACH CONDUIT RUN, INCLUDING RISERS AND SPARES. ALL SPARE CONDUITS SHALL BE PLUGGED.
 - DETAIL IS SHOWN FOR BIDDING PURPOSES ONLY. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION AND COORDINATE EXACT SPECIFICATIONS WITH THE UTILITY COMPANY.

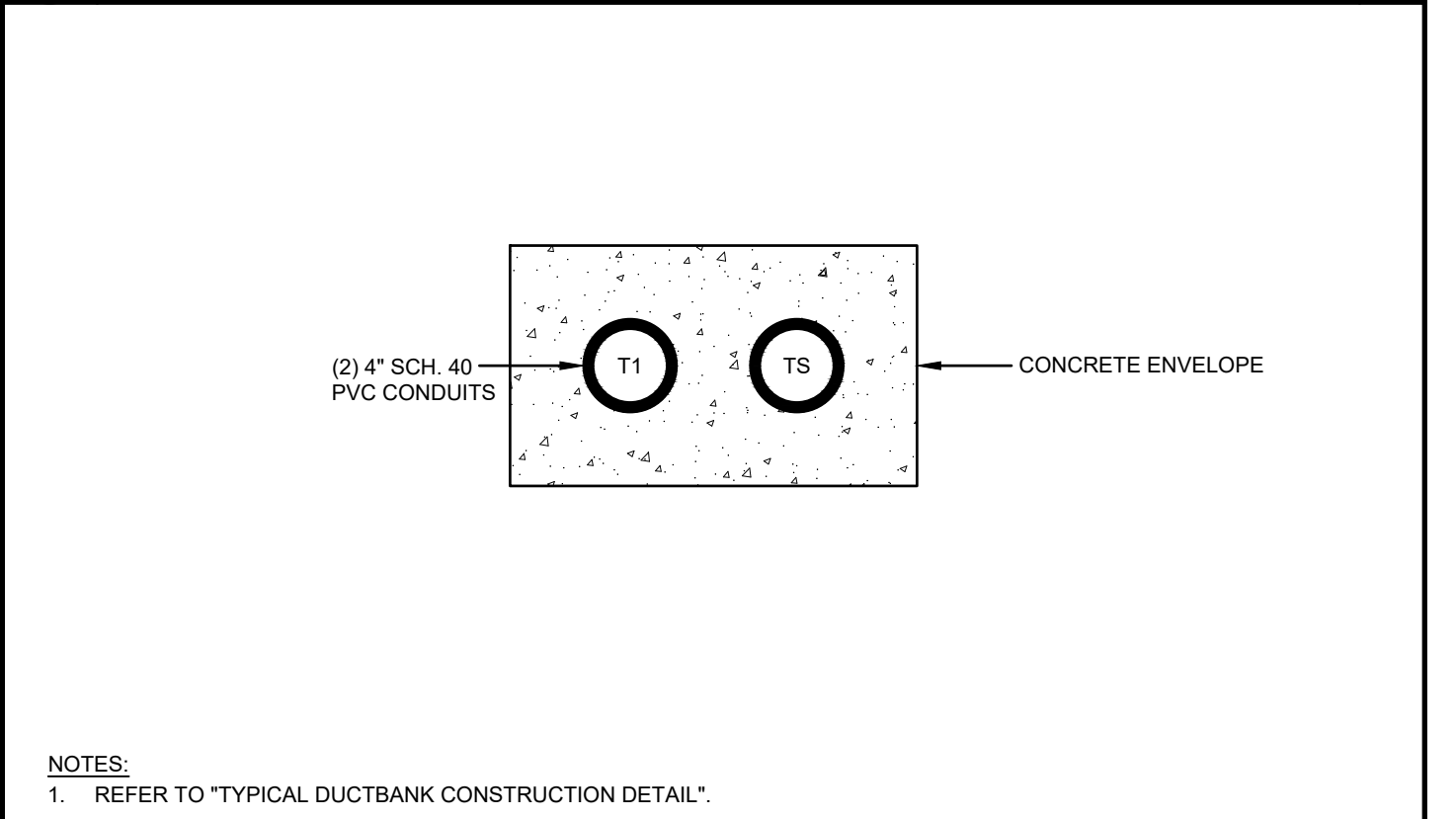
2 TYPICAL DUCTBANK CONSTRUCTION DETAIL NTS



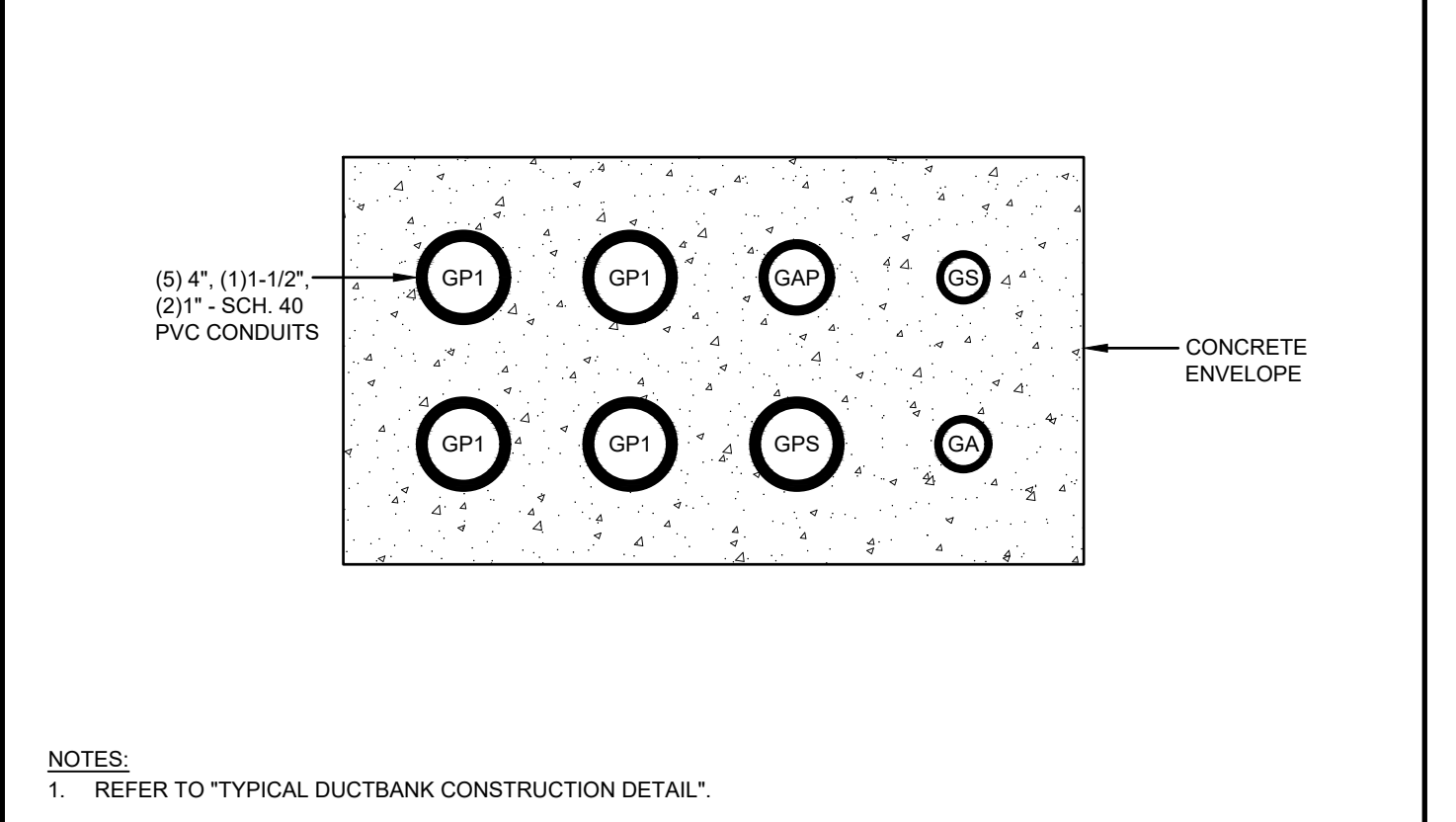
3 DUCTBANK DETAIL "A-A" NTS



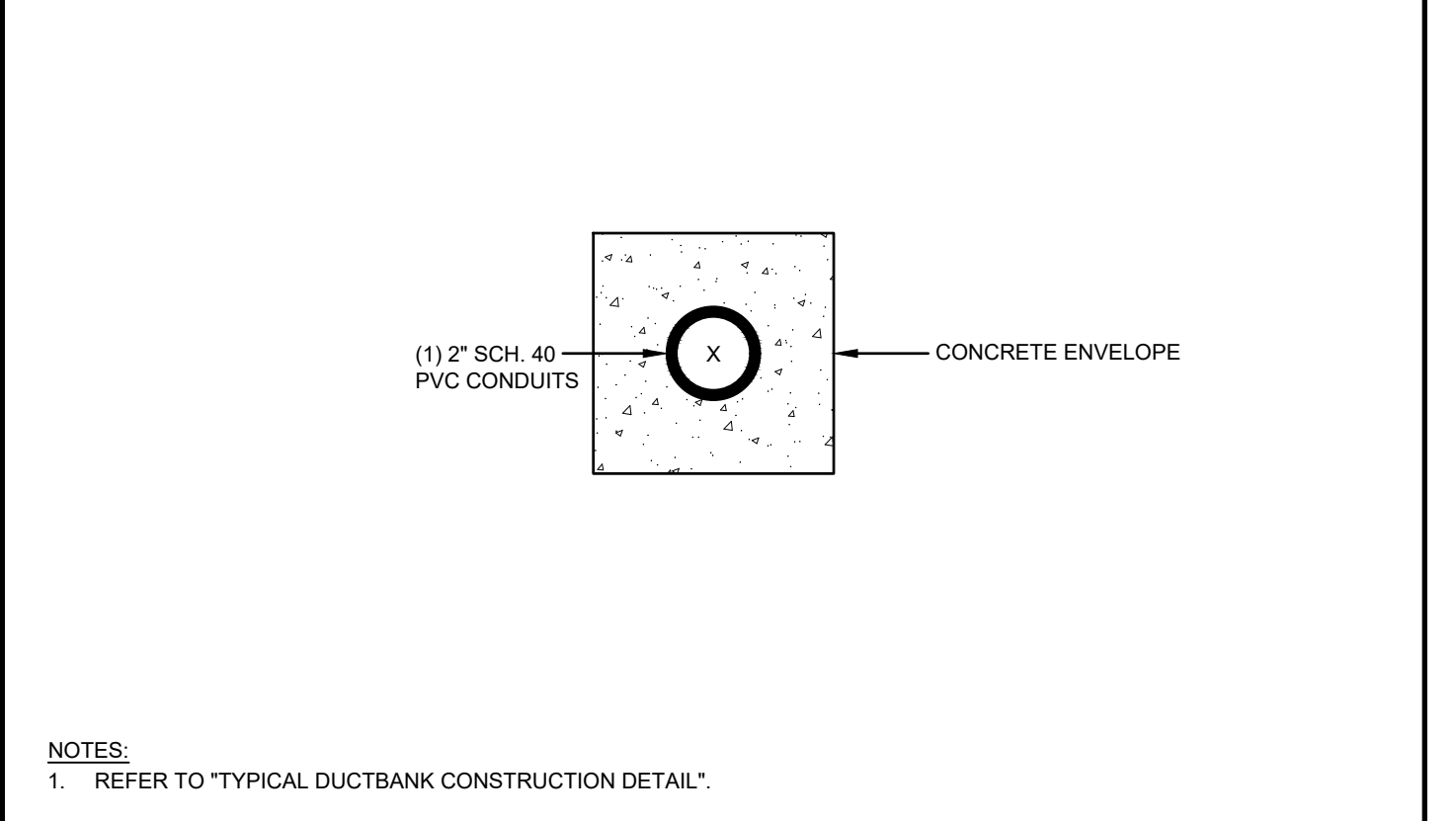
4 DUCTBANK DETAIL "C-C" NTS



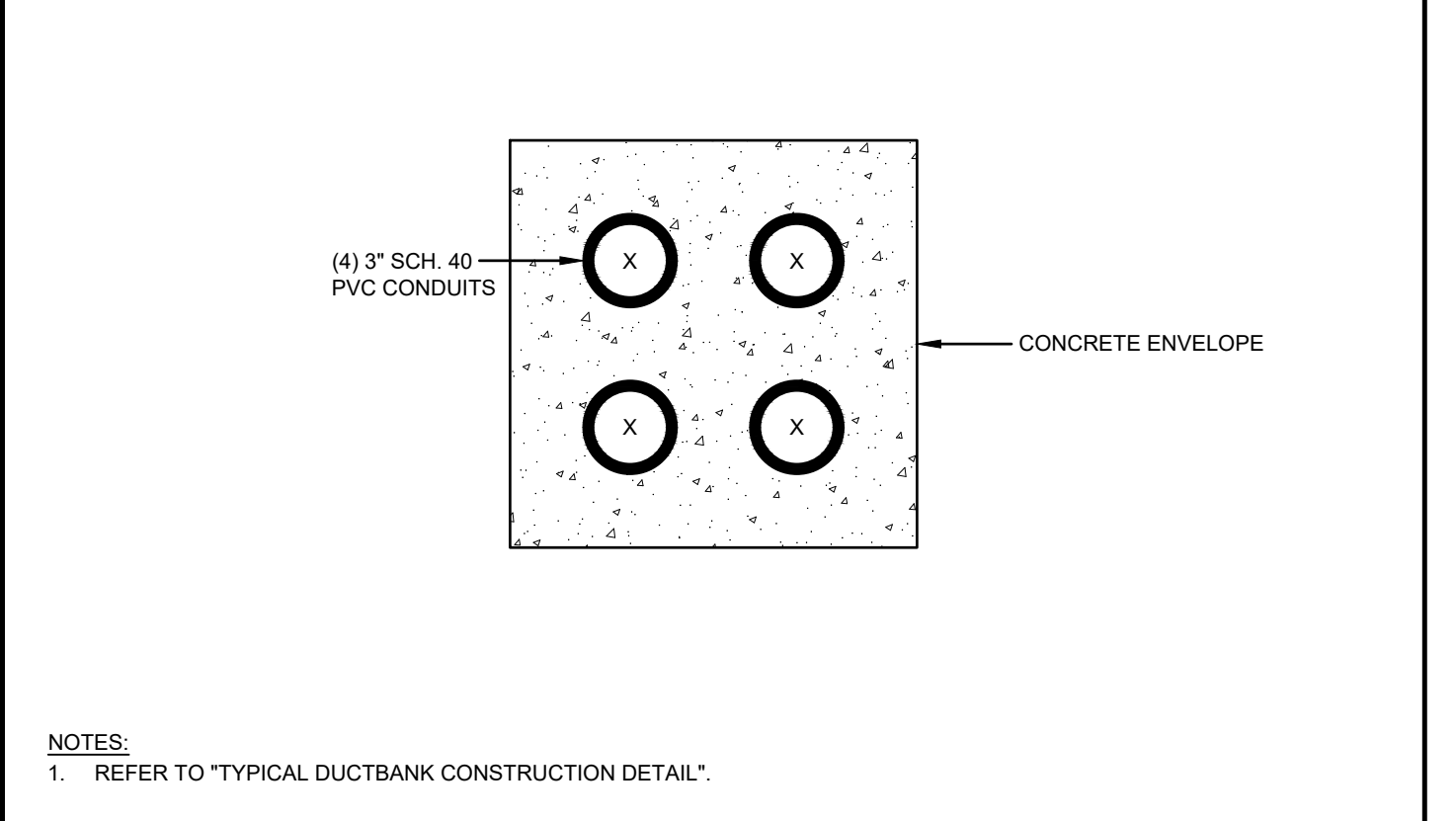
5 DUCTBANK DETAIL "B-B" NTS



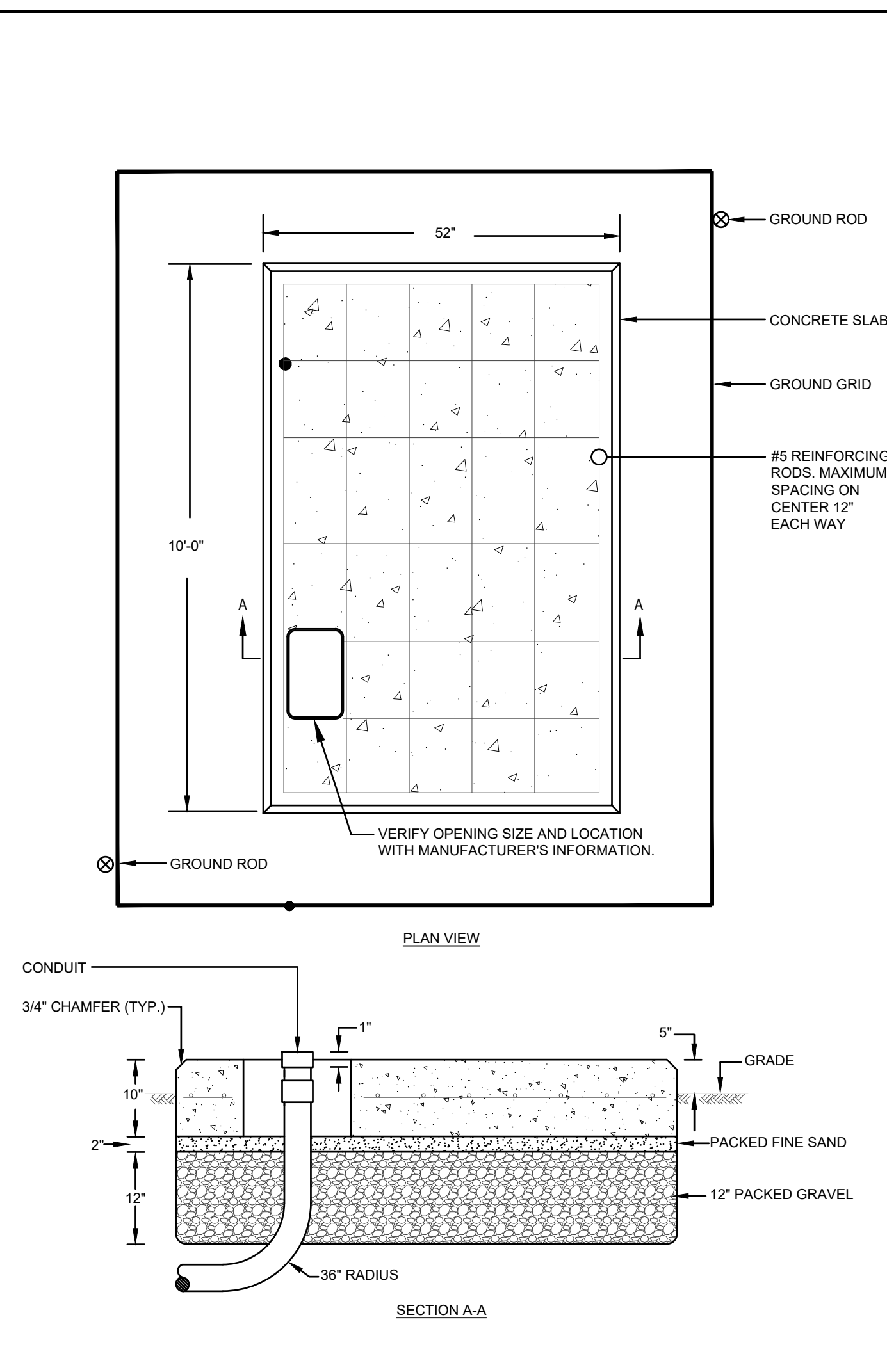
6 DUCTBANK DETAIL "D-D" NTS



7 DUCTBANK DETAIL "E-E" NTS

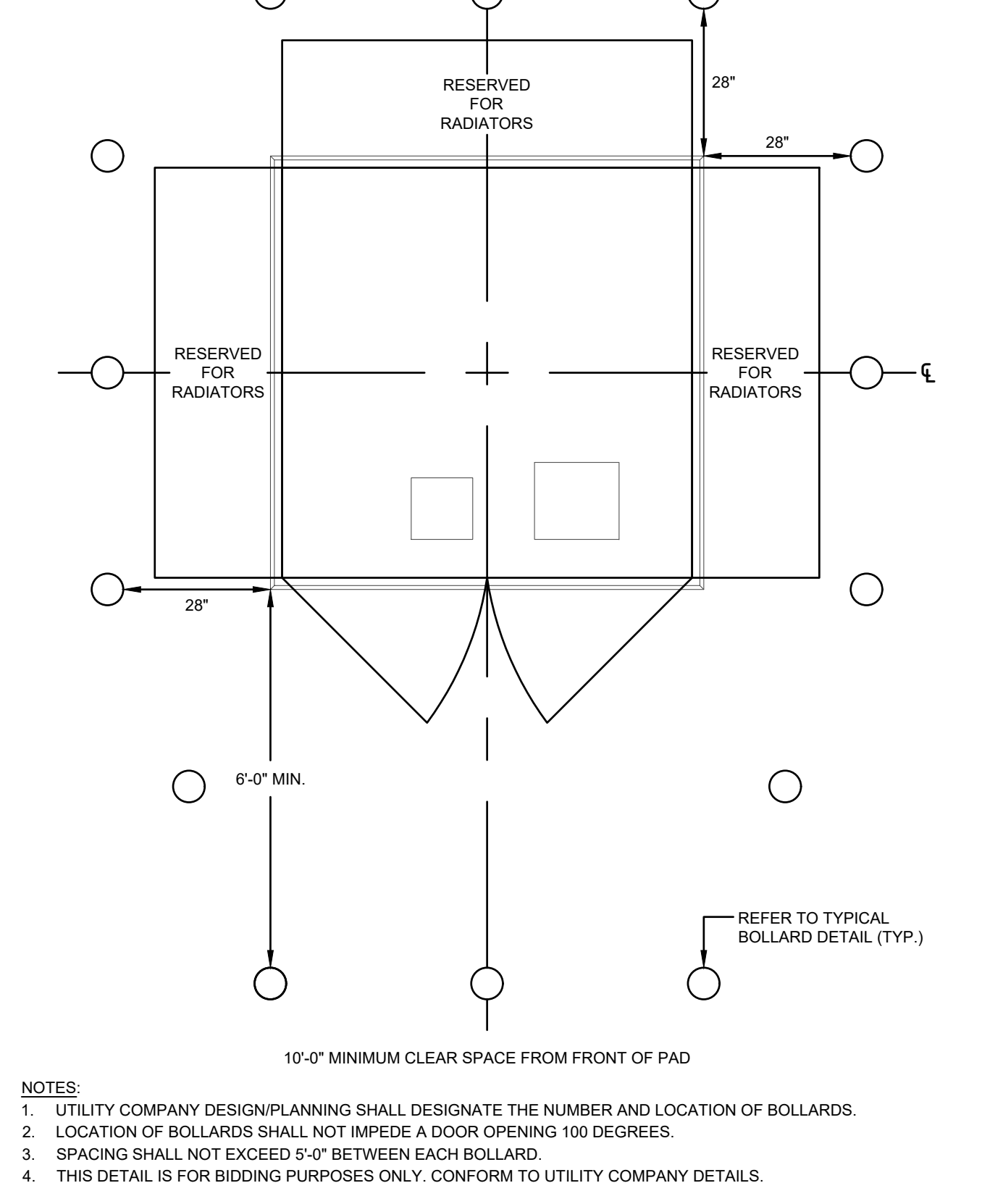


8 DUCTBANK DETAIL "F-F" NTS

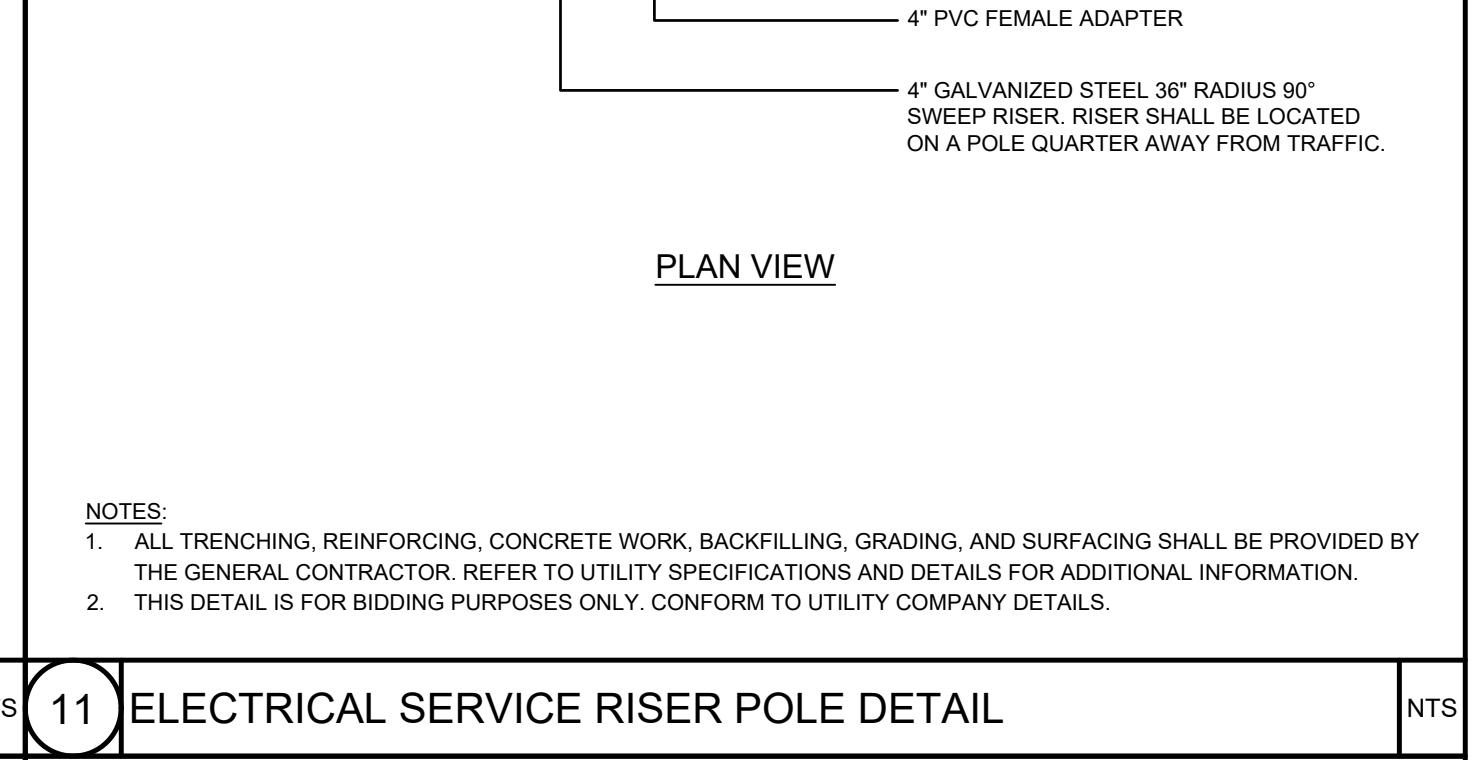
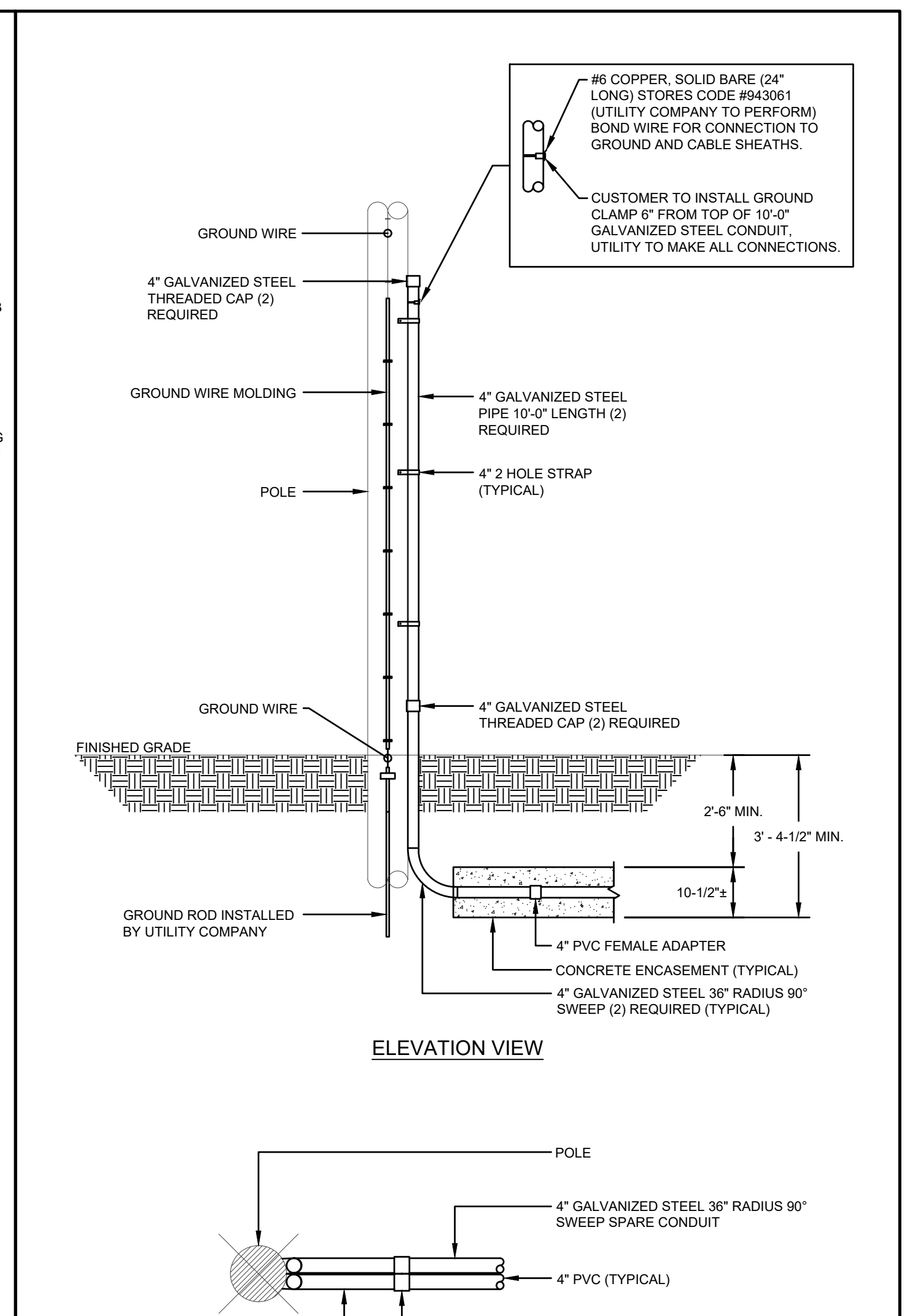


- NOTES:**
- ELECTRIC SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE GENERATOR, CONDUIT, WIRING & GROUNDING ASSOCIATED WITH THE GENERATOR. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL EXCAVATION, FORMING, REBAR & CONCRETE ASSOCIATED WITH GENERATOR PAD. ALL WORK SHALL BE COORDINATE BETWEEN THE GENERAL CONTRACTOR & THE ELECTRICAL SUB-CONTRACTOR.
 - CONDUIT - INSTALL AS SHOWN BEFORE SLAB IS POURED. USE 36" RADIUS BENDS, WITH COUPLINGS, NIPPLES AND BUSHINGS AS REQUIRED. MATERIAL MAY BE GALVANIZED STEEL, BLACK IRON OR TYPE II FIBER OR PLASTIC. TERMINATIONS OF CONDUITS SHALL BE LOCATED EXACTLY AS SHOWN, SOLID OR DOTTED, DEPENDING ON THE NUMBER OF DUCTS. THE NIPPLE AND BUSHING SHOULD BE INSTALLED AFTER THE GENERATOR IS PLACED AND BEFORE THE CABLES ARE PULLED.
 - GROUND GRID - INSTALL #10 S.D. 7 STRAND BARE COPPER WIRE LOOP 1'-0" BELOW GRADE. BOND TO ALL EXPOSED METALLIC CONDUIT AND LEAVE 3'-0" OF WIRE ABOVE PAD FOR GROUNDING GENERATOR AT TWO OPPOSITE POINTS IN THE CABLE CONDUIT OPENINGS. PROVIDE PHOTO-COPPER BRAZE CONNECTIONS OR CALDWELL, OR USE TWO APPROVED CONNECTORS PER JOINT. INSTALL TWO 10 FT. GALVANIZED STEEL (D4) GROUND RODS WHERE SHOWN. LEAVE GRID EXPOSED UNTIL INSPECTED BY THE ENGINEER.
 - THIS DETAIL SHALL BE USED FOR BIDDING PURPOSES ONLY. VERIFY EXACT GENERATOR SIZE, PAD SIZE, AND CONSTRUCTION DETAILS WITH GENERATOR MANUFACTURER AND OWNER PRIOR TO INSTALLATION.

9 GENERATOR PAD DETAIL NTS



10 TRANSFORMER BOLLARD PLACEMENT DETAIL NTS



11 ELECTRICAL SERVICE RISER POLE DETAIL NTS

12 TYPICAL BOLLARD DETAIL NTS

- NOTES:**
- CONCRETE FILLED 6" RIGID GALVANIZED STEEL PIPE. CONCRETE SHALL BE CROWNED ON TOP OF ALL BOLLARDS. WHEN BOLLARDS CAN NOT BE PAINTED PROVIDE PROTECTIVE BOLLARD COVER EQUAL TO INNOPLAST #6C760/W.
 - THIS DETAIL IS FOR BIDDING PURPOSES ONLY. CONFORM TO UTILITY COMPANY STANDARDS.

NOTES: ---

ISSUE DATE:	CONSULTANTS
6/9/2023	
REVISIONS:	DESCRIPTION
DATE	

DATE	DESCRIPTION

Progress Set
 NOT FOR CONSTRUCTION
 Mar 18, 2024

KEY PLAN
 SCALE: AS NOTED
 NORTH
 TRUE NORTH

NEW MANUFACTURING AND WAREHOUSING FACILITY FOR TACO COMFORT SOLUTIONS, INC.
 35 CARLSBAD STREET, CRANSTON, RI 02920

PROJECT NUMBER: 2022-033
 DRAWN BY: NG
 REVIEWED BY: DC
ELECTRICAL SITE DETAILS
ES1.2
 DRAWING #:

